

**CITY OF CLINTON, LOUISIANA
CLINTON HISTORIC DISTRICT
DESIGN GUIDELINES**

May, 2012

CITY OF CLINTON, LOUISIANA CLINTON HISTORIC DISTRICT DESIGN GUIDELINES

Table of Contents

1.0 Introduction

2.0 Maps

3.0 Architectural Style Guide

4.1 Residential Guidelines for Rehabilitation

4.2 Commercial Guidelines for Rehabilitation

5.1 Residential Guidelines for Additions and New Construction

5.2 Commercial Guidelines for Additions and New Construction

6.0 Guidelines for Non-Contributing Properties

7.0 Definitions

8.0 Appendix

Table of Contents

1.0 Introduction

2.0 Maps

3.0 Architectural Style Guide

3.0 Brief History of the District

3.1 Romantic Styles

- A. Greek Revival
- B. Italianate
- C. Gothic Revival

3.3 Revival Styles

- A. Colonial Revival
- B. Neoclassical Revival

3.4 Victorian Styles

- A. Folk Victorian
- B. Queen Anne

3.5 Vernacular Architecture

- A. Residential Vernacular
- B. Commercial Vernacular

3.6 Modern Styles

- A. Craftsman

4.1 Residential Guidelines for Rehabilitation

4.1.0 Applicability

4.1.1 Site

- A. Walkways
- B. Driveways
- C. Landscape
- D. Fencing, Walls, and Other Site Characteristics

4.1.2. Features

- A. Form and Style
- B. Porches, Stoops, Balconies, and Porte- Cochere
- C. Doors
- D. Windows
- E. Roofing

- F. Exterior Lighting
- G. Mechanical Systems
- H. Accessibility
- G. Environmental
- H. Accessory Structures

4.1.3. Materials

- A. Wood
- B. Masonry
- C. Stucco
- D. Metals
- E. Paint and Color

4.2 Commercial Guidelines for Rehabilitation

4.2.0 Applicability

4.2.1 Site

- A. Walkways
- B. Driveways and Parking
- C. Landscape
- D. Fencing, Walls, Signage and Other Site Characteristics

4.2.2. Features

- A. Form and Style
- B. Porches, Stoops, Balconies, Storefronts, and Porte- Cochere
- C. Doors
- D. Windows
- E. Roofing
- F. Exterior Lighting
- G. Mechanical Systems
- H. Accessibility
- I. Environmental
- J. Accessory Structures

4.2.3. Materials

- A. Wood
- B. Masonry
- C. Stucco
- D. Metals
- E. Paint and Color

5.1 Residential Guidelines for Additions and New Construction

5.1.0 Applicability

5.1.1 Site

- A. Setback

- B. Building Height
- C. Lot Coverage
- D. Garage, Carpet, and Parking Structures
- E. Walkways
- F. Driveways
- G. Landscape
- H. Fencing, Walls, and Other Site Characteristics

5.1.2 Features

- A. Form and Style
- B. Porches, Stoops, Balconies, and Porte-Cochere
- C. Doors
- D. Windows
- E. Roofing
- F. Exterior Lighting
- G. Mechanical Systems
- H. Accessibility
- I. Environmental
- J. Accessory Structures

5.1.3 Materials

- A. Wood
- B. Masonry
- C. Stucco
- D. Metals
- E. Paint and Color

5.2 Commercial Guidelines for Additions and New Construction

5.2.0 Applicability

5.2.1 Site

- A. Setback
- B. Building Height
- C. Lot Coverage
- D. Garage, Carpet, and Parking Structures
- E. Walkways
- F. Driveways
- G. Landscape
- H. Fencing, Walls, Signage and Other Site Characteristics

5.2.2 Features

- A. Form and Style
- B. Porches, Stoops, Balconies, Storefronts, and Porte-Cochere
- C. Doors
- D. Windows
- E. Roofing
- F. Exterior Lighting
- G. Mechanical Systems

- H. Accessibility
- I. Environmental
- J. Accessory Structures

5.2.3 Materials

- A. Wood
- B. Masonry
- C. Stucco
- D. Metals
- E. Paint and Color

6.0 Guidelines for Non-Contributing Properties

6.0 Applicability

6.1 Site

6.2 Features

6.3 Materials

7.0 Definitions

8.0 Appendix

8.1 Secretary of the Interior's Standards for Rehabilitation

8.2 References & Resources

I.0 Introduction

The following Guidelines for the Clinton Historic District were written by Quimby McCoy Preservation Architecture, LLP with Bayou Preservation for the City of Clinton as part of a grant through the Road Home Project in 2012. The City of Clinton was chosen by the State of Louisiana as a recipient of this grant following an application process. These Guidelines play an important role in ensuring that Clinton's historic resources are properly protected and preserved, and are meant to be a tool for the citizens of Clinton and the Clinton Historic Commission to make well-informed and guided decisions on the treatment of historic buildings and other properties located within the Historic District.

The Guidelines are organized similarly to the Secretary of the Interior's Standards and are intended to be used jointly with this document and with the City's local zoning ordinances.

The Guidelines are principles that are intended to protect the historic character of the district. The priorities for protection are based upon features that were identified by a team of local preservationists and preservation architects as significant and by the community as desirable to maintain. The Guidelines protect the character by requiring the preservation of certain features and materials and by guiding the design of additions and new construction to be appropriate. The Guidelines will be interpreted by the City.

Section 2: District Map: The map documents the boundaries of the historic district. Contributing and non-contributing properties are not defined by the map and must be defined prior to the application of these Guidelines. Contributing properties are those properties that make a positive contribution to the historic character of the district, or have the potential to do so; non-contributing properties are generally considered to be properties that are less than 50 years old. Since the City of Clinton does not currently have a survey that indicates which properties within the historic district are contributing and non-contributing, it is the Commission's responsibility to indicate whether or not a property is contributing or non-contributing at the start of the review process.

Section 3: Architectural Style Guide: The Style Guide is intended as a quick reference that summarizes the character defining features associated with each style that is found within the district in summary form. This Guide is meant to be used with more detailed style guides, which are included in the Appendix.

Section 4: Guidelines for Rehabilitation: The Guidelines address existing historic features and materials and their repair and replacement as well as alterations to these elements. The Guidelines focus on the retention and protection of the historic fabric of the

district. Making a determination as to whether an element is historic or not is necessary before applying these Guidelines.

The Guidelines define “protected” facades, typically the front and side street façades plus a distance of five feet along the side yard. A “protected” façade is one that should be preserved and not altered or covered by an addition. The bulk of the guidelines apply to these “protected” facades. However, the entire building is part of the review process and any preservation work, alteration or addition to any part of the site or building must be appropriate.

Section 5: Guidelines for Additions and New Construction: The Guidelines address the appropriateness of the development of property within the district with respect to site standards for hardscape and landscape features and the placement of additions and new construction and the appropriateness of new design to a contributing property in the district.

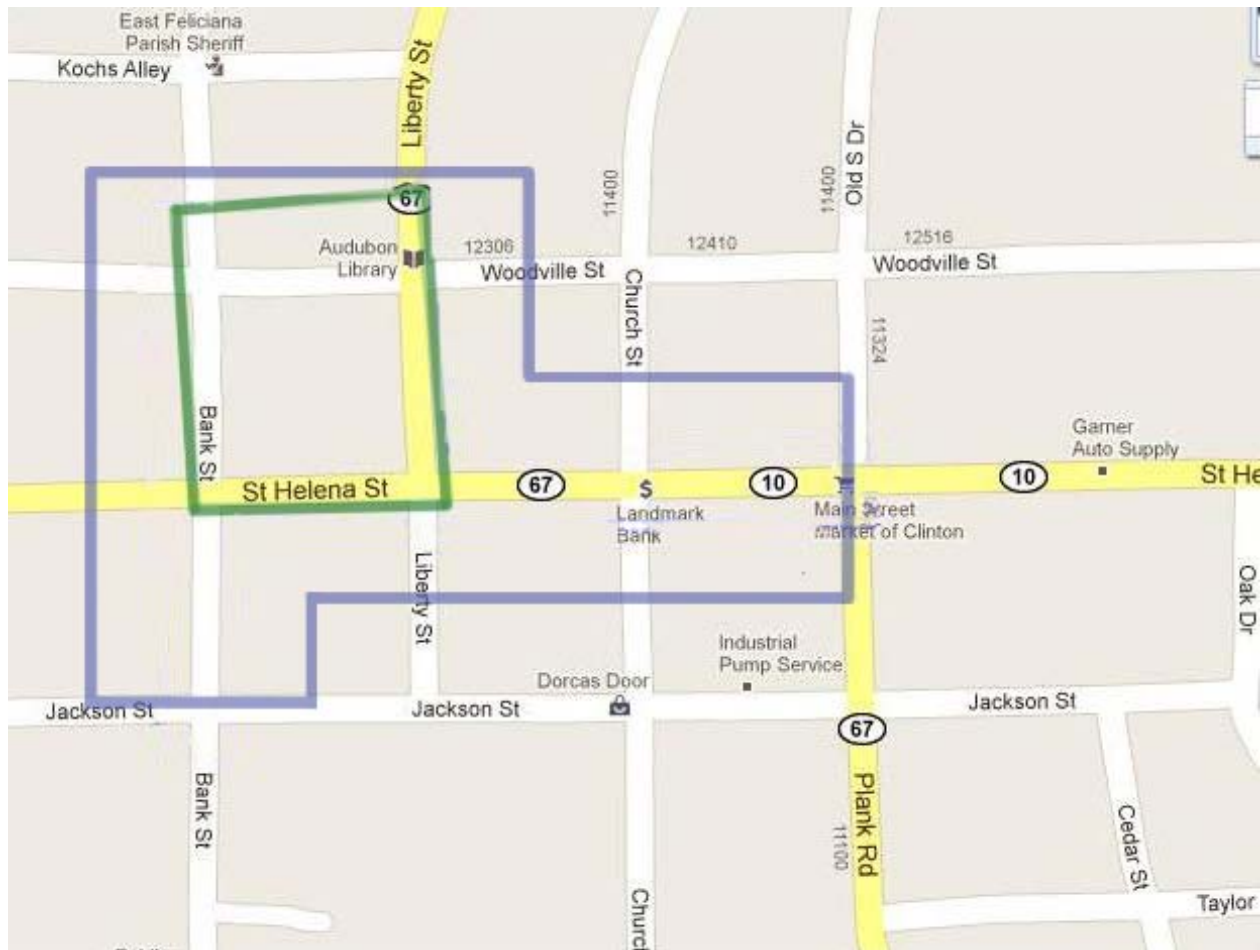
Section 6: Guidelines for Non-Contributing Properties: The Guidelines for non-contributing properties are the same as for new construction; changes to these properties must be appropriate to the character of the district. There are no specific guidelines governing non-contributing properties as these properties are not protected by this ordinance and can be demolished and replaced by more appropriate new construction.


Section 7: Definitions: The definitions of architectural terms and terms used in the guidelines are provided here.

Section 8: Appendix: the Appendix provides the Secretary of the Interior’s Standards for Rehabilitation and References & Resource materials for convenient reference. Note that the Guidelines’ References & Resource materials listed are subject to revision and reprinting.

2.0 MAPS

MAP OF HISTORIC DISTRICTS



 Courthouse and Lawyer's Row - National Register District, National Historic Landmark District, HABS Area

 Clinton Historic District

The following individual properties are also included in the Clinton Historic District Register, and are subject to the Design Guidelines. When the term, “district,” or the phrase, “in the district,” are used throughout the Guidelines, these terms shall refer to properties in the Clinton Historic District as well as the individual properties listed on the Clinton Historic District Register.

1. Second Clinton High School
2. First Clinton High School
3. Marston House
4. Boatner-Record House
5. Cedar Hill
6. Brame-Bennett House
7. Fuqua House

8. Little House
9. Hope Terrace
10. Freeland House
11. Martin Hill
12. Soileau House
13. E.M. Toler House
14. Kilborne House
15. Rist Hotel
16. Loubiere Building
17. Wall House
18. Berger Bungalow
19. Feliciana Properties
20. Pecan Hill Cottage
21. Pecan Hill Shotgun House
22. Berger General Store

3.0 ARCHITECTURAL STYLE GUIDE

Architectural style is the overall appearance of a definite type of architecture, distinguished by special characteristics and ornament. The style names provided or commonly used to describe distinct architectural styles have several sources: reference to historical or political periods (Colonial or Victorian), descriptive of the building or house itself (Shotgun), a building's heritage (Folk or Vernacular), or its form (Bungalow). Regardless of a house's particular architectural style, understanding its style is an important first step to not only appreciating it, but critical when considering modifications to the house. The most successful modifications are those that compliment the house's style instead of subjugating or fighting it.

Some of the earlier architectural styles found in the United States were imported directly from Europe by settlers, and are considered to be Colonial Styles, such as French Colonial and Spanish Colonial. Many other architectural styles that are found in the United States are considered Revival styles – styles that are based on historical styles, some of which occurred centuries or even millennia ago. Examples of such styles include Greek Revival, which borrows architectural elements such as columns and porticos from the architecture of Classic Greece, or Tudor Revival, which borrows elements from 16th century England. The architectural style of some buildings cannot be classified due to the uniqueness of the building; this includes buildings that do not incorporate any traditional elements or form or are considered “transitional,” with one style bleeding into another. Buildings that have suffered major alterations that disguise the original style and newer buildings are also difficult to classify. The classification process benefits from perspective as well as time for review and consideration for new styles—it can take several decades for this process to reach completion and a style to be named.

While several style guides were referenced in the preparation of this document, *A Field Guide to American Houses*, by Virginia & Lee McAlester, remains the best source for stylistic information. A list of other useful style guide resources can be found in the Appendix.

The most widely used architectural styles found throughout the historic district are described on the following pages. Please note that the years in which each style was commonly used in the United States are shown next to the style name.

3.0 BRIEF HISTORY OF THE DISTRICT

Clinton is located in southeast Louisiana near Baton Rouge, and it is the parish seat of East Feliciana Parish. The original inhabitants of the area included Houmas and Tunica Native Americans, before French and Spanish settlers laid claims to the area in the late 1600s. East Feliciana Parish and the area around Clinton changed hands several times during two centuries of European settlement and wars: from the original Houmas and Tunica peoples to French settlers who claimed Louisiana lands in the 1600s; to the Spanish explorers of Florida; to the English in 1763 following the French-Indian War; to the briefly-lived Republic of West Florida in 1810; and then finally annexed to the United States by an 1810 amendment of the Louisiana Purchase. When the area around Clinton was first annexed into the United States, it was in the heart of Louisiana's English Plantation country and part of what was originally Feliciana Parish; this parish was later divided into West Feliciana Parish and East Feliciana Parish in 1824, and Clinton was established in 1824 as the parish seat of the eastern parish.

Clinton was selected as the parish seat because it was located on high-ground, and it quickly became known as a prominent center for law and education. When the Clinton & Port Hudson Railroad was established in the mid 1830s, the town found prosperity as a cotton trading point for a large area. This prosperity reflected itself in the high-style, antebellum buildings and later Victorian designs, which can be seen throughout the area. The town was named for New York Governor, DeWitt Clinton – a name chosen by several, prominent local residents who were originally from New York.

During the Civil War, several military engagements occurred around Clinton, including the town's occupation by Union soldiers before the fall of Vicksburg. In 1864, Union forces burned most of the town, except for the exceptional Greek Revival courthouse, which had been built in 1840, and still remains in use as a courthouse to this day. Clinton recovered quickly from the Civil War, and reclaimed much of its prosperity through the cotton trade during the early 1870s. High-style buildings were once again erected.

The town of Clinton has remained a small but sophisticated town steeped with a rich history and architectural heritage. It's famed courthouse and adjacent Lawyer's Row continue to serve the Parish, and are listed as a National Historic Landmark among other recognitions.¹



Lawyer's Row in Clinton,
Courtesy of Historic American
Buildings Survey.

¹ "History of East Feliciana Parish," available URL:
<http://www.felicianatourism.org/history.htm>, accessed 4 August 2011.

3.1 ROMANTIC STYLES

The Romantic styles are based on the romanticism of the American identity and American architecture, which for the first time began to separate itself from the European styles that had defined colonial architecture. Following the War of 1812, Americans began rejecting traditional ties to England, and focused instead on creating a uniquely American identity by celebrating architectural styles with gothic, Italian, and Greek influences. Architectural models evocative of Greek democracy were considered especially appropriate for the American republic.

A. GREEK REVIVAL (1825-1860)

Greek Revival was one of the most popular styles in American architecture during the early to mid nineteenth century. This was due in large part to the fact that archaeological investigations in the early part of the nineteenth century led to renewed interest in Greek architecture. The fact that Greece was the birthplace of democracy and that Greece was involved in a war for independence around 1825 aroused sympathy in the newly independent United States, and Greek architecture soon then became popular.

Greek Revival architecture was modeled on the buildings of Classical Greece, and included clear references to Greek architecture with emphasized cornices and entablatures, prominent square or rounded columns, elaborate door surrounds, and large porticos. The style became so popular between 1825 and 1860 that it came to be called the “National Style,” and can be seen throughout the United States, including Louisiana.

Greek Revival houses vary in form, and can include a variety of roof types and entry porches. The most common variations of a Greek Revival building in Louisiana includes the single or two story house with square massing and a full-façade porch and large columns. A front door surrounded by narrow sidelights and a rectangular transom that is incorporated into a prominent door surround is also common. Classical Doric or Ionic columns for the support of porch roof are also a prominent feature of the Greek Revival style in Louisiana. The porch roof on a Greek Revival house is typically flat, but can also be a shed-style extension from the main house, which is a common variation found throughout the southern states.



Greek Revival courthouse in Clinton's Square, 2011.



Greek Revival house in Clinton, 2011.

Wooden double hung sash windows with multiple pane glazing of 6-over-6 or 9-over-9 configuration are typical. Occasionally in Louisiana, triple hung windows with multiple pane glazing of 6-over-6-over-6 were used.

Wood shingles or tiles were traditionally the most common roofing material, but have largely been replaced with composition shingles.

Exterior materials typically include horizontal wood siding, painted brick, and stucco. Many times in Louisiana, a Greek Revival building will include masonry walls with stucco that has been scored to look like large, stone blocks.

B. ITALIANATE (1840-1885)

The Italianate style was extremely popular in American architecture between 1850 and 1880, but is a less common style in the southern states where the Civil War, Reconstruction, and a series of recessions slowed building progress during the style's heyday. The Italianate style is loosely based on the architecture of informal Italian farmhouses or villas, and was a style first popularized in Europe as part of the Picturesque Movement that rejected the formal ideas of Classicism.

The Italianate style largely became popular in America through pattern books produced by authors such as Andrew Jackson Downing. These pattern books were published in the 1840s and 1850s, and allowed people to choose a building plan and architectural style out of a catalog, and then construct that building based on a prototype or pattern. Pattern books by authors such as Downing encouraged the use of the Italianate style predominantly for houses located in rural or suburban settings, for those settings related directly to the idea of the picturesque Italian villa, although some simple elements of the Italianate style were also used to ornament typical, commercial buildings. The Italianate style was ultimately a rejection of the classical, the formal, and the imposing, and also related to the romanticism of the American identity.

The Italianate style typically includes elements such as tall, narrow windows with elaborated window woods, a low pitched roof, widely overhanging eaves supported by decorative brackets, bay windows, and door surrounds with columns or pilasters. Both simpler and more elaborate examples of the Italianate style are common



Simple Italianate commercial buildings in downtown Clinton, 2011.

throughout cities in the South, including Louisiana. Wooden double hung sash windows with single pane glazing of 1-over-1 configuration are typical; sometimes double hung sash windows with multiple pane glazing of 4-over-4 or 6-over-6 configuration are used.

Wood shingles were traditionally the most common roofing material, but have largely been replaced with composition shingles.

Exterior materials include horizontal wood siding, brick, or stucco.

C. GOTHIC REVIVAL (1840 – 1880)

The Gothic Revival began in England around 1750 with a renewed interest in the Medieval style and picturesque country houses. The first Gothic Revival structure was built in America in 1832 by Alexander Jackson Davis, and the style became widely popular with the publication of his architecture book, *Rural Residences*, in which Davis included several examples of the Gothic Revival style. The style was promoted as an architecture style most appropriate for rural settings.

The Gothic Revival style includes several identifying features such as the steeply pitched roof, cross gables, and decorated vergeboards around the gables. Pointed, gothic arches and one-story porches are also identifying features.

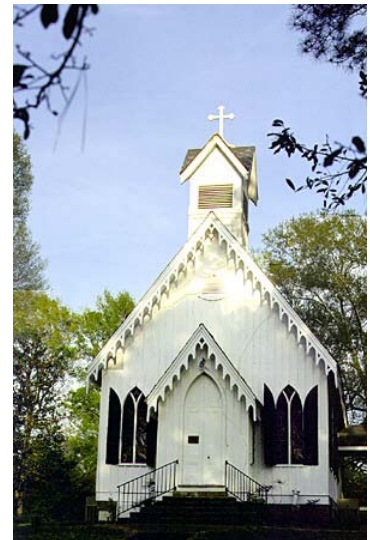
Windows come in a variety of configurations, although there is at least usually one window with a pointed arch. Leaded or art glass is also common, as are window hoods. Arched porch supports are also common.

Doors commonly show pointed arches or other, decorative gothic elements and paneling. Some Gothic Revival buildings include simple batten doors, which are meant to mimic their Medieval prototypes.

Most Gothic Revival buildings include open cornices at the roof-line, with the rafters either exposed or sheathed parallel to the overlying roof.



Gothic Revival house near downtown Clinton, 2011.



Gothic Revival church in Clinton, 2011.

3.3 REVIVAL STYLES

The historic district features both the grand-scale and small-scale houses built in various Revival styles, generally with small setbacks and native landscaping. Revival styles recall elements from previous, historic architectural traditions for

stylistic inspiration. The trend in favor of Revival styles began largely with the Columbian Exposition of 1893 in Chicago and other such expositions, which stressed relatively pure interpretations of European architectural styles. Many historic houses within the district are excellent examples of the different Revival styles.

A. COLONIAL REVIVAL (1880-1955)

The Philadelphia Centennial Exposition of 1876 is credited with first influencing American architects to look towards the country's own architectural roots for inspiration. Based on the straightforward design of 17th and 18th century residential architecture, Colonial Revival houses are defined by their simple form and decorative detailing.

Colonial Revival houses are typically rectangular in plan, one- to two-stories tall, have steep side-gabled roofs, dormers, minimal eaves, and a front porch supported by classical columns. One story side wings that are either open or enclosed also occur. Colonial Revival facades are usually symmetrical with equal numbers of windows on either side of the centrally-located door.

Small entry porches consisting of an extended triangular or flat pediment supported on slender columns are also common.

Colonial Revival houses are known for their accentuated front doors which often have a decorative pediment, pilasters, fanlights, sidelights. Typical pediment shapes include flat, triangular, arched, and broken. While front doors are normally centrally-located on the front façade, some examples of the style have entrances that are off-center.

Wooden double-hung sash windows with multi-pane glazing, usually of 4-over-4 or 6-over-6 configuration, are typical. Windows can occur in adjacent pairs and usually have wooden shutters.

The typical roofing materials are composition shingles, as most historic roofing and wood shingles have been replaced.

Exterior materials include horizontal wood siding or brick.



Colonial Revival house in Clinton, 2011.

B. NEOCLASSICAL REVIVAL

(1895-1950)

Neoclassical Revival, also referred to as Classical Revival, was a popular style for residential architecture during the first five decades of the 20th century. This renewed interest in classical architectural models came out of the 1893 World's Columbian Exposition in Chicago, which had a classical theme.

Rectangular in plan, these one to two story buildings have symmetrically balanced front façades dominated by full-height colonnaded porches. Roofs are typically hipped or side-gabled. Dormers and one-story side extensions are also common.

Entry porches are either centered over the front door or extend the full width of the front façade. Porches are rectangular or semi-circular in shape. These roofs are extended flat or triangular pediments supported on columns. Columns can be fluted or un-fluted and typically have Corinthian or Ionic capitals. Square columns with simple capitals are also common.

Elaborate and decorative door surrounds with pilasters, pediments, and side-lights are typical. Common pediment types include triangular, semi-circular, broken, and flat. Doors should be wooden and can have a small amount of glazing divided into rectangular lights.

Wooden double-hung sash windows with multi-pane glazing, usually of 6-over-1, 6-over-6, 9-over-1, or 9-over-9, are typical.

Wood shingles are the typical roofing material. Most wood shingle roofing has now been replaced with composition shingles.

Exterior materials include horizontal wood siding or brick.



Neoclassical Revival high school building in Clinton, 2011.

3.4 VICTORIAN STYLES

A. FOLK VICTORIAN

(1870 – 1910)

The Folk Victorian style is defined by the presence of Victorian decorative detailing on more simple, folk, or vernacular house forms. During the 19th and 20th

centuries, it became typical for homeowners to take a simple, folk or vernacular house and “dress it up” with pre-fabricated Victorian detailing that could be ordered out of a catalog and shipped by rail. This was particularly true of front façade and porch detailing.

Folk Victorian houses are much less elaborate than the Victorian buildings they imitated, have modest room sizes, front and rear porches, rooms with windows on two sides for natural ventilation, and high ceilings.

Typically, one-story Folk Victorian houses have asymmetrical plans that are often L-shaped, sometimes T-shaped, I-shaped, shotgun, or have a center passage. Roof forms are steep and simple in form with gable-front and gable-front-and-wing arrangements, often with have boxed wall-roof junctions; hipped roofs are used at the rear of the house. Other characteristics include front porches (few wrap-arounds), simple wooden windows with vertical orientation, and decorative detailing along porches, cornices, and eaves.

Front porches with spindle-work and turned columns as well as ornate porch railings and supports are common on Folk Victorian style houses. Some gable ornamentation is also common.

Doors are typically simplistic in design, made of wood, and have large amounts of glazing; large oval shaped panes of glass are typical.

Wooden double hung-sash windows with panes in 1-over-1 or 2-over-2 arrangements are typical. These windows are often grouped together in groups of two or three.

Typical roofing materials are wood shingles. Most wood shingle roofing has been replaced by composition shingles.

Exterior materials include horizontal wood siding, often in a variety of shapes and styles. Some Folk Victorian examples include wood shingles in the gables.



Folk Victorian house in Clinton, 2011.

B. QUEEN ANNE

(1880-1910)

The Queen Anne style first began in England, and was in some ways a revival of Medieval architectural forms. The Queen Anne style is defined by steeply pitched roofs with irregular shapes, front-facing gables, patterned shingles, bay windows, spindlework, and other details that aim to break up the front façade. The Queen Anne style was first popularized in the late part of the nineteenth century with the widespread adoption of balloon framing techniques that allowed for cheaper and rapid construction of more complicated forms. The expanding railroad system in the United States also helped spread the style's popularity by making pre-cut architectural details like spindlework become readily available; people from around the country could order architectural details from a catalogue, have them shipped by rail, and then apply those details directly to their own houses.

The two most prevalent subtypes of the Queen Anne style include the Free Classic and the Spindlework styles. In both sub-styles, the floor plans are open and free-flowing while large front porches, towers or turrets, and fanciful details define the exterior facades. The Queen Anne Free Classic included elements of Classical architecture such as Doric columns, Palladian windows, and a dentilled cornice. The Queen Anne spindlework house typically included “gingerbread” details like roof cresting, gable ornaments, delicate wood work or spindles around the porch, and corner brackets.

Wood double-hung windows are typical and often arranged in groups of three or more. Also common are multi-pane double-hung sash windows with leaded art or stained glass.

Typical roofing materials included slate and wood shingles. Most roofing has been replaced with composition shingles.

Various exterior materials, such as brick, stone, timbers, and stucco infill, are common to the Queen Anne style. Decorative half-timber framing, patterned brickwork, patterned shingles, and the use of a variety of paints and colors are also common features.



Queen Anne Victorian house in Clinton, 2011.

3.5 VERNACULAR ARCHITECTURE

The term vernacular means “language of the people.” These buildings are designed by someone without formal training, are based on traditional or regional forms, and almost exclusively use locally-available materials. Vernacular buildings typically have a simple plan and design based on those handed down through generations (such forms include the Shotgun, Dog Trot, and [in some regions] the Igloo). These designs address local environmental concerns and reflect cultural and historical traditions of the area. In many cases, vernacular architectural traditions have roots in early attempts at building that were perfected to local conditions and requirements through trial and error.

A. RESIDENTIAL VERNACULAR

(any time period)

Due to the nature of Vernacular buildings and the fact that they are built without any the use of architects or any formal designs, Vernacular buildings typically include locally available materials such as horizontal wood siding, and occasionally brick masonry. Wood shingle roofs (now largely replaced by composition shingles) were common, as well as metal roofs. These materials were inexpensive and easily available.

Simple wood sash windows, doors with simple transoms, and small columns are also common features of Vernacular buildings encountered in Louisiana.

Sometimes, owners of a Vernacular building would add elements of the Italianate or Victorian styles in order to “dress up” their building, and in doing so would create a new style such as the Folk Victorian.

One type of Vernacular building that can be found throughout Louisiana, and especially in towns that were near railroads, is the National or Railroad Vernacular residential form; this building type was literally shipped in a kit-of-parts (sometimes from major distributors like the Sears & Roebucks Co.) around the United States by rail. Customers could order a simple house form from a catalog, pick up the kit-of-parts from the nearby train depot, and assemble their house in town. Examples of



Residential vernacular, Acadian Cottage
In Clinton, 2011.

these houses typically include horizontal wood siding, small inset front porches, a cross gabled roof, an L-shaped plan, and simple one-over-one wood sash windows. These National or Railroad houses are examples of a Vernacular building type that are named “National” or “Railroad” because they became a building form that was common on the National level and made available by railroad.

Another specific type of residential vernacular architecture that can be found throughout the southern part of Louisiana is the Acadian cottage. The Acadian cottage typically includes a steeply-pitched side gabled roof with an inset front porch. Dormer windows are sometimes found along the roofline. The building footprint is typically simple, and the house is usually rectilinear in its massing.

Acadian cottages grew out of the French Colonial building traditions and the building traditions brought by Acadian immigrants from Canada. The steeply pitched roofs were originally used in France and Canada because they shed snow easily; there was no need for such a steep pitch in southern Louisiana, but the building tradition was used nonetheless. Acadian cottages typically have horizontal wood siding, narrow windows, and very simple detailing. Throughout most areas of Louisiana, the Acadian cottage has a symmetrical façade with a central door; with closer proximity to New Orleans and a greater Creole influence, some Acadian cottages included an asymmetrical façade with a side door. The tradition of building Acadian cottages continued long past the time of Acadian immigration into Louisiana.

C. COMMERCIAL VERNACULAR

(any time period)

Commercial vernacular buildings are typically one or two-story buildings located in the historic downtown or central business district. Also known as one-part or two-part block commercial buildings, these buildings typically have very simple floor plans, basic exterior ornamentation, and were constructed of inexpensive and locally available materials. These buildings typically



Simple, commercial vernacular buildings
in downtown Clinton, 2011.

housed businesses such as grocery and general stores, taverns, drug stores, etc. Occasionally, building owners would add pre-fabricated decorative elements such as brackets to “dress up” their commercial vernacular buildings.

Some commercial vernacular buildings included cast iron store fronts and tiled entryways that were meant to attract customers into the business. Commercial vernacular structures in Louisiana were typically constructed of simple, brick masonry or included horizontal wood siding. Simple porches or galleries were typically used to provide shade for customers, while colorful signage that was either directly painted onto the building or hung near the front door often provided an interesting focal point for the otherwise simple structure.

Simple, large wood sash windows, doors with simple transoms, and small columns are also common features of commercial vernacular buildings in Louisiana.

3.6 MODERN STYLES

The term ‘modern’ is used to denote architectural styles that evolved in the early 20th century that combines functionalism with aesthetic ideals that rejected historical design precepts and styles that were common in the preceding centuries. In addition to the styles listed below that are represented in Louisiana, other modern styles include Art Deco, Art Moderne, International Style, organic architecture and local variations.

A. CRAFTSMAN (1905-1930)

The Craftsman style first began in California around the turn of the century, and was the dominant style for smaller houses built throughout the country until about 1930. Architects Gustave Stickley, Charles S. Greene, and Henry M. Greene are credited with first developing the style, although several influences including the English Arts and Crafts movement and America’s renewed interest in the craftsmanship of wood working and furniture making helped inspire the style’s overall development.



Craftsman house in Clinton, 2011.
Courtesy of Clinton Historic Walking
Tour.

Through publications such as pattern books, the Craftsman style became the most popular and fashionable smaller house in the country during the first decades of the twentieth century. One-story vernacular examples of the Craftsman style are referred to as Craftsman bungalows, and are very common throughout Louisiana.

The Craftsman style is typically defined by low-pitched, gabled roofs with wide overhanging eaves, exposed roof rafters, and decorative or false beams or braces added under the roof gables. Craftsman style houses also usually include porches supported by tapered square columns, multiple roof planes, and groups of multiple windows.

Doors are typically wood with simple glazing, often a series of glass panels in the upper portion of the door. Glass sidelights with either stained or beveled glass to match the front door are occasionally used.

Windows on Craftsman style houses are typically double hung sash windows, and can either be simple, 1-over-1 windows, 6-over-1 sash windows, or include art glass in the upper sash.

The most common wall cladding material is horizontal wood siding. Brick and wood shingles are also sometimes used.

4.1 GUIDELINES FOR RESIDENTIAL REHABILITATION

4.1.0 APPLICABILITY

The Guidelines for the rehabilitation of residential properties apply to contributing properties only. Guidelines for non-contributing properties can be found in Chapter 6.0.

The Guidelines are intended to preserve the historic, character defining features of the contributing properties by retaining as much historic material as possible, by repairing rather than replacing, and by protecting the historic features that give a property its character. Determining what features and materials are historic is the first step of any rehabilitation effort.

The Guidelines prioritize the preservation of building facades that are visible from public streets; these are designated as “protected” facades, and are defined by Diagram 4.1-1 for corner lots and Diagram 4.1-2 for interior lots. Protected facades should be preserved or restored, and should not be altered unless there is no reasonable alternative. Non-protected facades are the remaining facades of the building. Work to these facades must be appropriate, but the guidelines recognize that change will occur and that alterations and additions may be required to these facades.

This chapter on the rehabilitation of residential properties addresses all buildings within the historic district that were designed as residential buildings, including those residential buildings that are now used for commercial purposes.

4.1.1 SITE

Site and context are critical to the character of a historic building and district. The relationship of buildings and structures to their respective sites and to the adjacent sites is an important character defining feature of the district. Avoid rearranging the site by moving or removing buildings and site features, such as walks, drives, fences, walls, and light posts which help define the historic value of the district.

A. WALKWAYS

I. GENERAL

Residential properties have varying setbacks from the street, and therefore a variety of walkway conditions. Walkways in the district are typically concrete, or sometimes brick.

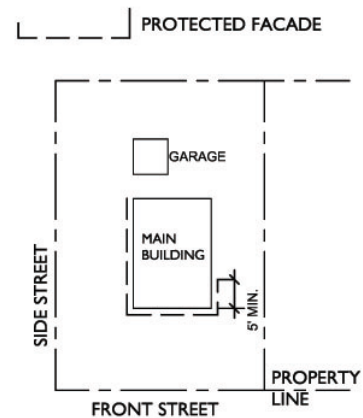


Diagram 4.1-1: Protected facades at corner lots

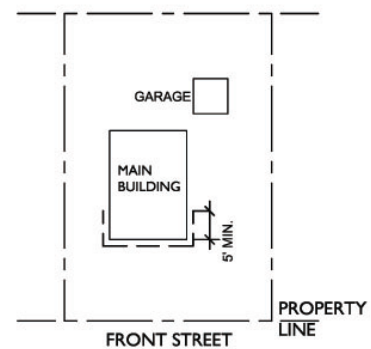


Diagram 4.1-2: Protected facades at interior lots

2. GUIDELINES

- a. It is encouraged that historic walkways be repaired rather than replaced.
- b. Where changes to the historic walkways are necessary, the alterations and new walkways shall be similar to and compatible with the historic walkways.

B. DRIVEWAYS

1. GENERAL

Simple concrete and gravel driveways lead to concrete and gravel parking areas. Driveways and parking areas are usually located directly in front of or next to each property, and each parking area or driveway is typically the width of one vehicle. Street parking is also available throughout the historic district. Driveways on adjoining residential properties are typically not located side-by-side, and instead have green spaces or landscaping between them.

2. GUIDELINES

- a. It is encouraged that historic driveways be repaired rather than replaced.
- b. If replacement is necessary, the replacement shall be similar to and compatible with the historic driveways.
- c. Green spaces and landscaping between driveways and parking areas are protected, and should not be paved or covered to serve as an additional driveway or parking area.

C. LANDSCAPE

1. GENERAL

Landscaping varies, but the predominant features include native landscaping such as palmettos, crepe myrtle trees, oak trees with Spanish Moss, pine trees, azalea bushes, and colorful flowers. Landscaping gives the historic district a lush, colorful garden-like atmosphere that is a character defining feature of the district. Grassy areas also line the streets and are used between parking areas.



Historic concrete and brick walkway in Clinton, 2011



Gravel driveway in Clinton, 2011



Healthy trees and landscaping at this property contribute to the picturesque feel that is appropriate for this Gothic Revival structure.

2. GUIDELINES

- a. Landscaping that is native to south Louisiana, including, but not limited to, healthy trees, shall be maintained as character defining features.
- b. Grass and vegetation shall be mowed, trimmed, and generally maintained.

D. FENCING, WALLS, AND OTHER SITE CHARACTERISTICS

1. GENERAL

Historically, some properties included some form of simple fencing along property lines that helped provide separation between neighboring properties. Historic fencing typically included cast or wrought iron fences, wooden picket fences, and in some cases, small masonry site walls. Fences that lined a front property line also included a small gate. Today, the district includes some cast and wrought iron fence elements, along with some picket fencing. Some chain link fencing is also found in the district, although this is considered inappropriate. Fencing in the historic district is considered a character defining feature.

2. GUIDELINES

- a. Historic fencing and site walls shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall be similar to or compatible with the historic fence.
- b. A new fence or site wall that is installed in the historic residential area shall be appropriate to the style of the historic building.
- c. The addition or use of chain link fencing is discouraged.



The historic fence (above) and site wall (below) are character defining features of the properties, and shall be maintained. Clinton, 2011

4.1.2 FEATURES

The character defining features of an individual property and the neighborhood at large shall be preserved and protected. Determining which features are character defining for a given property involves understanding the history of that property and the condition of the features. The elements listed below, when historic and in repairable condition, are character defining features that are protected by where they occur on protected facades. However, individual properties may have

additional features that are imbued with significance due to their unique design or due to an association with an important person or event, and these features need to be identified, recognized, and then protected as well.

Protection of these features does not prohibit changes that may be required to achieve accessibility, life safety provisions, mandated code requirements, or in some cases, energy efficiency. These necessary changes need to be made in a manner that minimizes their impact and effect on the character defining features of the site or building.

Preservation work and alterations to features on non-protected facades shall be approved. See Diagrams 4.1-1 and 4.1-2 for the definition of protected and non-protected facades.

A. FORM AND STYLE

1. GENERAL

The form of a building is defined by its shape, roof line, and footprint on the property. The style is defined by both the form and the design of the features and materials that make up the building. Refer to the Style Guide in Chapter 3 for more information about the characteristics of the style of the buildings in the neighborhood and for examples of what is appropriate design within each style.

2. GUIDELINES

- a.** The historic form of the building to the extent that it is visible from the opposite side of a public street is protected. Refer to Diagram 4.1-3 for sight lines that shall be used to determine visibility.

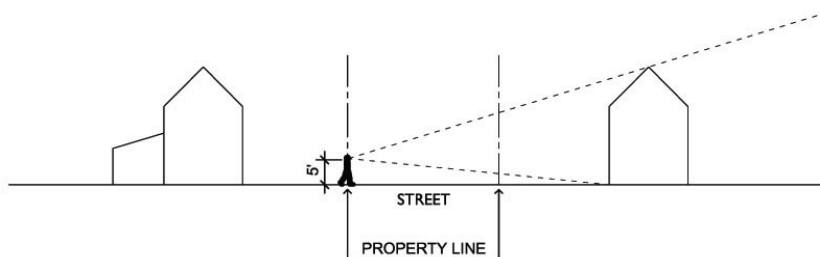


Diagram 4.1-3: Sight lines used to determine visibility

- b. The historic style of a building is protected. Where the style of a building has been altered, repairs and alterations shall serve to “bring back” the historic style of the building. Therefore, repairs and alterations shall be compatible with the historic style of the building.
- c. A historic shotgun may be modified with a second story addition to become a Camelback only if that second story addition has the appropriate setback from the front façade, in keeping with the style of other historic Camelbacks in the historic district.
- d. In situations where zoning laws or insurance require that an existing property within the historic district be raised, the new foundation shall match the existing foundation in material and appearance along protected facades (see Diagrams 4.1-1 and 4.1-2 for the definition of a protected façade). If concrete block or concrete masonry unit is used to construct a new or raised foundation, the concrete block or concrete masonry unit shall include a masonry veneer or stucco along the protected facades.

B. PORCHES, STOOPS, BALCONIES, AND PORTE COCHERE

1. GENERAL

Porches, stoops, balconies, and porte cochere are considered character defining features. Porches, stoops, balconies, and porte cochere are special, and provide interest and variety to the neighborhood. Each style of building uses these features in different ways and it is important to maintain appropriate designs for these elements.

2. GUIDELINES

- a. Historic porches, stoops, balconies, and porte cochere are protected.
- b. The enclosure of historic porches, balconies, stoops, porte cochere, or entryways that were not originally enclosed is not permitted, except at side porches where the entire porch is integral to the roof form of the building. A porch, entryway, balcony, stoop, or porte cochere may only be enclosed using the following standards:



This historic balcony with its historic iron balustrade are character defining features of the building. Clinton, 2011

- i. Enclosure shall utilize the maximum amount of glass practical.
- ii. Glass shall be clear and in the largest expanses practical, with minimal size mullions and muntins.
- iii. Windows, if used, shall be consistent in style with the historic windows on the building.
- iv. The design of the enclosure does not draw attention to itself or add details and design features that are incompatible with the historic building, complete with the design of the historic porch.
- v. Screening is discouraged, but allowed to be used to enclose porches.



Porch detailing is a significant character defining feature of this Folk Victorian house. Clinton, 2011.

- c. The removal of non-historic enclosures from historic porches is encouraged.
- d. The reconstruction of missing stoops, balconies, porches and porch features is encouraged, based on documentation of the historic design.

C. DOORS

1. GENERAL

Historic doors are an important character defining feature of a building. Door design typically provides an accent and may incorporate a special material, finish, or design that provides variety and interest to the neighborhood. Each style of building uses characteristic door styles and it is important to maintain appropriate designs for these elements. For example, a Craftsman style door is not appropriate on an Italianate building.



This door configuration includes the historic sidelights and the original door surround. Clinton, 2011

2. GUIDELINES

- a. Historic doors, including the frame, transoms, sidelights, and hardware, are protected.
- b. Historic doors shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic door size, material, finish (painted or stained), and other design characteristics.

- c. Replacement doors for non-historic doors shall be based either on:
 - i. A design to match the historic door based on adequate documentation
 - ii. A design that is appropriate to the style of the building
- d. The retention of historic screen doors is encouraged.

D. WINDOWS

I. GENERAL

Historic windows are one of the most important character defining features of a building. Windows in the district vary according to the style of buildings from simple single hung, one-over-one light windows to decorative leaded glass casement windows. Typically windows within a building are of one or two types with occasional accent windows that may include special designs. Some windows are arched or include arched surrounds that serve as important character defining features. Each style of building uses characteristic styles of windows and it is important to maintain appropriate designs for these elements. For example, a Folk Victorian style window is not appropriate on a Craftsman style building.

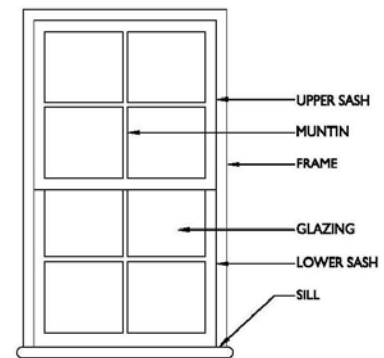


Diagram 4.1-4: Window components

2. GUIDELINES

- a. Historic windows, including the sash, frame, glazing, and sill are protected. Historic shutters are also protected.
- b. Historic windows and shutters shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic window size, material, finish (painted or stained), window pane number and configuration, and other design characteristics. When there is severe deterioration of windows such that repair is not practical, this condition shall be documented in written and photographic form before alterations are made.

- c. Replacement windows or shutters for non-historic windows shall be based either on:
 - i. A design to match the historic window based on adequate documentation, or
 - ii. A design that is appropriate to the style of the building
- d. Replacement windows shall incorporate true divided lights (real window panes). Plastic divider strips on the interior side of the glass are not permitted as a means of simulating divided lights.
- e. Glazing shall be clear, without tint or reflectivity, except that where glazing must be replaced and an insulated glass unit is appropriate, a clear Low E coating is permitted upon review by the Commission.
- f. Replacement glazing shall match the historic glazing where possible.
- g. The restoration of specialty glass, art glass, stained glass, and leaded glass is encouraged to be treated by an artisan or specialist in this area.
- h. Storm windows are permitted and may be approved if they are easily removable and do not damage historic windows.

E. ROOFING

1. GENERAL

Historic or typical roofing materials in the historic district include clay tile, slate, and composition shingle where wood shingles once existed. Roofing is the single most important component of a building envelope, protecting other materials as well as the building interior from the damaging effects of water and moisture. Therefore, the maintenance of a roof is critical to the preservation of the building. Roof forms and materials are character defining features of a building.

2. GUIDELINES

- a. Historic roofing, including eaves, soffits, cornices, parapets, coping, dormers, and decorative elements, such as cresting, and roof forms are protected.



This side gabled roof helps define the Style of this Folk Victorian home and protects the structure; this roof would have originally been clad with wood shingles, and is now appropriately clad with composition shingles. Clinton, 2011.

- b. Historic roofing shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the roofing material, texture, color, and shape where possible, or be similar in appearance to the historic roofing.
- c. Replacement roofing for non-historic roofing shall be based either on:
 - i. Roofing that matches or is similar in appearance to the historic roofing based on adequate documentation.
 - ii. Roofing that is appropriate to the style of the building.
 - iii. Substitute materials that simulate historic roofing materials are permitted where their design is appropriate.

F. EXTERIOR LIGHTING

1. GENERAL

Historic light fixtures are typically accent features that may incorporate a special material, finish, or design that provides variety and interest to the neighborhood. Each style of building uses characteristic styles of lighting and it is important to maintain appropriate designs for these elements. For example, a Folk Victorian style light fixture is not appropriate on a Craftsman style building.

2. GUIDELINES

- a. Historic light fixtures are protected.
- b. Historic light fixtures shall be repaired rather than replaced.
- c. Replacement light fixtures shall be of a design that is appropriate to the style of the building, and shall match any existing historic light fixtures in material, size, shape, and design when possible.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment is generally located out of view from public streets and screened with landscaping. Insensitive installation of mechanical equipment and other site or building accessories, such as satellite dishes and television receivers, can cause damage to historic materials and alter the visual qualities of a building.

2. GUIDELINES

- a. Mechanical equipment, including satellite dishes and other building accessories, shall not be visible from a public street, or landscape shall obscure the visibility of the equipment.
- b. Window heating and air-conditioning units are discouraged. However, if window units are necessary, they shall be located on a non-protected façade, and shall not be visible from the street. Reference Diagrams 4.1-1 and 4.1-2 for information on protected facades.



Note how the air compressor unit is appropriately located towards the rear façade, and is obscured with landscaping. Clinton, 2011.

H. ACCESSIBILITY

1. GENERAL

Accessibility to a building by those with disabilities is sometimes needed with a residential building. Care must be taken not to damage or make inappropriate alterations to the visual qualities of a building and site. Most historic buildings in the historic district are built with a pier and beam foundation that raises the first floor off the ground; this requires an accessible ramp of some length. The presence of a porch or raised entryway might also require the presence of an accessible ramp. The intent of the guidelines below is to minimize the impact of accessibility on the protected facades of the main building.

2. GUIDELINES

- a. Locating ramps or other accessibility related elements on the side or rear of the main building is encouraged.
- b. The installation of a ramp or other accessibility related elements shall not damage or obscure the character defining features of the main building. Where a ramp must be added to the front façade of a residential building that includes

a character-defining feature like a stoop or porch, the accessible ramp shall be as subtle or non-obtrusive as possible, and shall be reviewed by the Commission for appropriateness.

- c. The use of gently sloped ground and sidewalks to avoid the construction of ramps is encouraged, where possible.
- d. The design of ramps and other accessibility related elements shall be appropriate to the style of the building, but without accurate period details.

I. ENVIRONMENTAL

1. GENERAL

Making environmentally sustainable choices and improving the energy performance of a building are necessary but they can also cause damage or alter the visual qualities of a building and site. Historic buildings typically already incorporate many environmentally sustainable design features such as cross ventilation as well as shading on south and west sides of the building. Reuse of existing buildings is a sustainable act in and of itself. The intent of the guidelines below is to minimize the impact of environmental-driven improvements on the protected facades of the main building.

2. GUIDELINES

- a. Solar panels located on roofs facing front or side streets are not permitted. Solar panels located on flat or parapet roofs, or in areas that are not visible from the street are permitted.
- b. Storm windows and doors are permitted and may be approved if they are easily removable and do not damage the historic windows and doors.
- c. Awnings, canopies, and other removable sun shading devices are permitted. These elements shall match the historic awnings, canopies, and sun shading devices where possible.
- d. Shutters that operate are permitted where appropriate to the style of the building as a means of improving energy efficiency and protecting windows during storms.

- e. The replacement of windows solely for environmental or energy efficiency reasons is not permitted.

J. ACCESSORY STRUCTURES

1. GENERAL

Historic accessory structures such as garages and other outbuildings are protected, where they are visible from a public street. Historic accessory structures shall maintain their historic integrity.

2. GUIDELINES

- a. The removal of historic accessory structures that are visible from the street is not permitted. Historic accessory structures shall be repaired rather than replaced.
- b. When removal of an historic accessory structure is necessary due to extreme structural instability or other hazardous conditions, the removal must be approved by the City.
- c. Replacement or new accessory structures shall be of a design that is appropriate to the style of the building, and shall match any original historic accessory structure in size, shape, and design when possible.

4.1.3 MATERIALS

Historic materials provide individual properties and the neighborhood or district at large with authenticity and integrity. Historic materials are protected, and should always be repaired rather than replaced whenever possible. The historic district includes several types of historic materials, and each imparts a unique quality and sense of character to the district as a whole. The maintenance of historic building materials is a vital part of preserving character defining features in the historic district.

A. WOOD

1. GENERAL

Wood is used for clapboard, weatherboard, wall shingles, doors, windows, and trim. In addition, door and window surrounds, transoms, exposed rafter ends, sun screening elements, porch elements, brackets, balustrades, and decorative elements are also typical character defining features built of wood.

2. GUIDELINES

- a. Historic wood features are protected.
- b. Historic wood features shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall always match the historic element in appearance, dimension, form, and texture. The replacement shall match the original material where possible.
- c. Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for shingles and other elements that were historically unpainted.
- d. Paint removal methods that involve thermal devices, failure to neutralize chemical strippers, stripping over a prolonged period such that the grain is raised and the surface is roughened, and mechanical abrasive methods to remove paint are not permitted.



Note how this Clinton house includes wood siding, wood columns, as well as wood doors and windows. Clinton, 2011.

B. MASONRY

1. GENERAL

Masonry includes brick, stone, cast stone, mortar, and concrete. These materials are typically used as either the primary façade material or as accent materials. Masonry is typically considered a character defining feature.

2. GUIDELINES

- a. Historic masonry and features such as texture, tooling, bonding patterns, and joint treatment are protected.
- b. Historic masonry features shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic material, size, form, texture, bonding pattern, joint size, shape, appearance, and mortar.
- c. Painting, waterproofing, water repellent treatments and other coating of historic brick, stone, and cast stone is not permitted, except if it can be shown that the material was painted at the time the building was constructed or if it can

be demonstrated that the masonry is unable to perform and is causing water penetration problems.

- d. Cleaning of masonry should only be undertaken when necessary to stop deterioration and should employ the gentlest means possible, such as low pressure water and soft bristle brushes. Cleaning with chemical cleaners or micro-abrasive systems shall be tested on a hidden area of the building to determine if damage will occur and to ensure an appropriate cleaning treatment.
- e. Mechanical abrasive methods of cleaning such as grit or sand-blasting are not permitted.
- f. Repointing of masonry should be undertaken only where joints are deteriorated—when mortar is missing, loose, or otherwise failing. Cutting out of joints shall be undertaken with care not to damage the masonry unit. Mortar for repointing masonry shall match the historic mortar in material compressive strength, appearance, joint profile, and dimension. Ready-made gray cement mortars are typically not a good match to historic mortars and shall not be used.
- g. The removal of paint and other coatings that were not historically part of the building is permitted where testing has confirmed that the removal methods will not do harm to the masonry. The use of mechanical abrasive methods such as grit or sand blasting to remove paint or other coatings is not permitted.

C. STUCCO

1. GENERAL

The historic district includes several building styles that include stucco as an exterior finish material. Stucco textures range from a smooth to rough finish. The stucco comes in a variety of colors ranging from white, to tan, to red, and brown. Stucco is a character defining feature within the district.

2. GUIDELINES

- a. Historic stucco is protected, and shall be repaired rather than replaced.



Note how this Clinton house includes masonry with stucco applied over the masonry; a typical combination. Clinton, 2011.

- b. The finish, color, and texture of historic stucco is also protected.
- c. Where removal of historic stucco is necessary due to severe damage or deterioration, new stucco shall match the historic material in texture and color.

D. METALS

1. GENERAL

The historic district includes a variety of metal features that range from metal roofing to cast iron and wrought iron architectural features. Metal roofing is addressed separately in the Design Guidelines, under the “Roofing” section in 4.I.E. Some of the cast iron and wrought iron features that are addressed here are structural, while other features are purely decorative. Metal is found in the historic district typically as porch or gallery elements, railings, fencing, decorative screens, brackets, grillwork, and vents. Metal materials may include cast iron, wrought iron, aluminum, zinc, tin, and steel. Both structural and decorative metal features on historic buildings are considered character defining features.

2. GUIDELINES

- a. Historic metal in accent elements is protected.
- b. Historic metal shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in all respects.
- c. Retaining historic metal components such as gutters, down spouts, mailboxes, and hardware is encouraged.
- d. Historic metal patina shall be retained. The patina may be protected with a clear coating, if desired.
- e. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.

- f. Cleaning of metals shall be undertaken using the gentlest means possible and with testing in obscure areas to determine if any damage will occur.
- g. Mechanical abrasive cleaning and paint removal methods such as grit or sand blasting and harsh chemicals are not permitted.

E. PAINT AND COLOR

1. GENERAL

The preservation of a paint record for historic properties and appropriate paint color selections for repainting campaigns are important to the record and character of a historic neighborhood. Today, most of the historic paint has been painted over and often in very different colors. Paint color, particularly for buildings made primarily of painted wood, is a character defining feature.

2. GUIDELINES

- a. Historic paint shall be preserved in place where possible beneath new paint. It is recommended that where removal of all paint is necessary to achieve a proper bond for new paint, retain a small area with the full record of paint layers.
- b. Paint removal, where necessary, shall be undertaken without causing damage to the historic wood, metal, or other substrate material.
- c. Paints and color choices on the exterior of a contributing structure are encouraged to be appropriate for the style of the building. However, paint colors will not be reviewed by the Commission.



Appropriate paint colors contribute to the integrity of this Queen Anne home, and also protect the wood elements. Clinton, 2011.

4.2 COMMERCIAL GUIDELINES FOR REHABILITATION

4.2.0 APPLICABILITY

The Guidelines for the rehabilitation of commercial properties apply to contributing properties only. Guidelines for non-contributing properties can be found in Chapter 6.0.

The Guidelines are intended to preserve the historic, character defining features of the contributing properties by retaining as much historic material as possible, by repairing rather than replacing, and by protecting the historic features that give a property its character. Determining what features and materials are historic is the first step of any rehabilitation effort.

The Guidelines prioritize the preservation of building facades that are visible from public streets; these are designated as “protected” facades, and are defined by Diagram 4.2-1 for corner lots and Diagram 4.2-2 for interior lots. Protected facades should be preserved or restored, and should not be altered unless there is no reasonable alternative. Non-protected facades are the remaining facades of the building. Work to these facades must be appropriate, but the guidelines recognize that change will occur and that alterations and additions may be required to these facades.

While the commercial area also includes residential buildings that house businesses, the commercial guidelines will only address buildings that were designed as commercial buildings; residential buildings included in the commercial area or that serve a commercial purpose are addressed under the residential guidelines.

4.2.1 SITE

Site and context are critical to the character of a historic building and district. The relationship of buildings and structures to their respective sites and to the adjacent sites is an important character defining feature of the district. Avoid rearranging the site by moving or removing buildings and site features, such as walks, drives, fences, walls, and light posts which help define the historic value of the district.

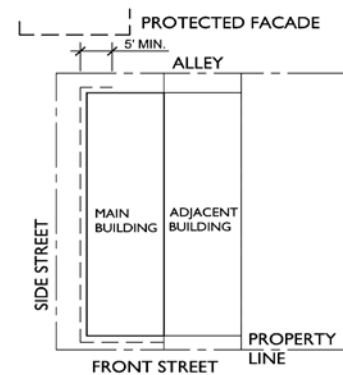


Diagram 4.2-1: Protected facades at corner lots

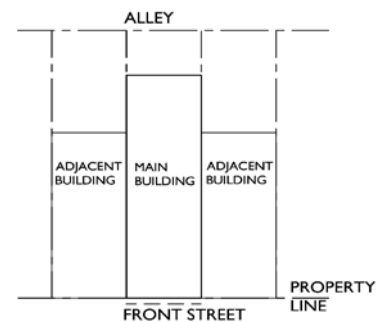


Diagram 4.2-2: Protected facades at interior lots

A. WALKWAYS

1. GENERAL

Commercial properties have varying setbacks from the street, and therefore a variety of walkway conditions. Walkways in the district are typically concrete or sometimes brick.

2. GUIDELINES

- a. It is encouraged that historic walkways be repaired rather than replaced.
- b. If replacement is necessary due to severe deterioration or damage, the replacement shall be similar to and compatible with the historic walkway.



Historic concrete walkway and driveway in downtown Clinton, 2011

B. DRIVEWAYS

1. GENERAL

Simple concrete and gravel driveways lead to concrete and gravel parking areas. Driveways and parking areas are usually located directly in front of or next to each commercial property, and each parking area typically serves one to two businesses. Street parking is also available, and the typical parking areas in front of the historic commercial properties are generally smaller. Driveways on adjoining commercial properties are typically not located side-by-side, and instead have green spaces or landscaping between them.

2. GUIDELINES

- a. It is encouraged that historic driveways be repaired rather than replaced.
- b. If replacement is necessary due to severe deterioration or damage, the replacement shall be similar to and compatible with the historic driveway.
- c. Green spaces and landscaping between driveways and parking areas are protected, and should not be paved or covered to serve as an additional driveway or parking area.

C. LANDSCAPE

1. GENERAL

Landscaping varies, but the predominant features include native landscaping such as oak trees, pine trees, azalea bushes, and large grassy areas. Grassy areas also line the streets and are used between parking areas.

2. GUIDELINES

- a. Landscaping that is native to south Louisiana, including but not limited to healthy trees, shall be maintained as character defining features.
- b. Grass and vegetation shall be mowed, trimmed, and generally maintained.



The mature oak trees surrounding the courthouse help set the tone for the square. Clinton, 2011.

D. FENCING, WALLS, SIGNAGE AND OTHER SITE CHARACTERISTICS

1. GENERAL

Historically, some properties included some form of simple wooden fencing along side property lines that helped provide separation between neighboring properties and offered an easy location for horses to be tied-up. The district historically did not include site walls in the commercial areas. Today, the district includes some chain link, some picket fencing, and some cast and wrought iron fence elements that are used to block access to side yards or alleys, although chain link is discouraged.



This site wall and cast iron fence incorporates appropriate materials for the historic district. Clinton, 2011

2. GUIDELINES

- a. Historic fencing and site walls shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall be similar to the historic fencing in size, placement, and material.
- b. A new fence or site wall that is installed in the historic commercial area shall be appropriate to the style of the historic building.
- c. Chain link fencing is discouraged along facades visible from the public street.
- d. Signage shall be appropriate for the district in appearance, size, position, method of attachment, texture of materials, and design. Signage shall enhance the quaint and distinctive character of the Clinton Historic District. Signage shall not

negatively impact a historic building or the district in any way. No sign shall be displayed or placed in any manner that disfigures or conceals any significant architectural feature or detail of any building. Illuminated, flashing, and changeable-letter signs are not permitted. The surface area of any sign shall be in direct proportion to the amount of front footage of the property. Secondary signs and temporary signs may be permitted upon review. Refer to local zoning ordinances for further information on signage.

4.2.2 FEATURES

The character defining features of an individual property and the district at large shall be preserved and protected. Determining which features are character defining for a given property involves understanding the history of that property and the condition of the features. The elements listed below, when historic and in repairable condition, are character defining features that are protected by the Guidelines where they occur on protected facades. However, individual properties may have additional features that are imbued with significance due to their unique design or due to an association with an important person or event, and these features need to be identified, recognized, and then protected as well.

Protection of these features does not prohibit changes that may be required to achieve accessibility, life safety provisions, mandated code requirements, or in some cases, energy efficiency. These necessary changes need to be made in a manner that minimizes their impact and effect on the character defining features of the site or building.

Preservation work and alterations to features on non-protected facades shall be approved. See Diagram 4.2-1 and 4.2-2 for the definition of protected and non-protected facades.

A. FORM AND STYLE

I. GENERAL

The form of a building is defined by its shape, roof line, and footprint on the property. The style is defined by both the form and the design of the features and materials that make up the building. Refer to the Style Guide in Chapter 3 for more information about the characteristics of the style of the buildings in the neighborhood and for examples of what is appropriate design within each style.

2. GUIDELINES

- a. The historic form of the building to the extent that it is visible from the opposite side of a public street is protected. Refer to Diagram 4.2-3 for sight lines that shall be used to determine visibility.

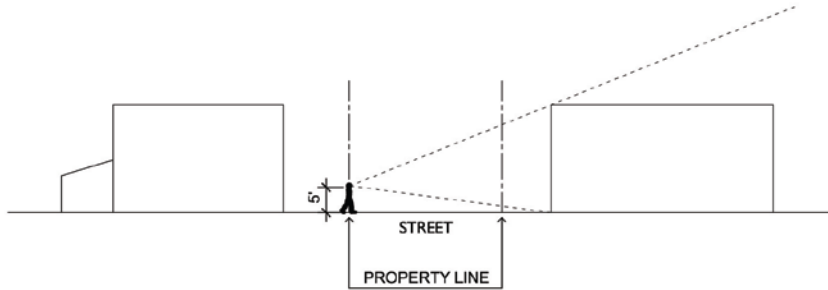


Diagram 4.2-3: Sight lines used to determine visibility

- b. The historic style of a building is protected. Where the style of a building has been altered, repairs and alterations shall serve to “bring back” the historic style of the building. Therefore, repairs and alterations shall be compatible with the historic style of the building.
- c. A historic shotgun may be modified with a second story addition to become a Camelback only if that second story addition has the appropriate setback from the front façade, in keeping with the style of other historic Camelbacks in the historic district.
- d. In situations where zoning laws or insurance require that an existing property within the historic district be raised, the new foundation shall match the existing foundation in material and appearance along protected facades (see Diagrams 4.2-1 and 4.2-2 for the definitions of a protected façade). If concrete block or concrete masonry unit is used to construct a new or raised foundation, the concrete block or concrete masonry unit shall include a masonry veneer or stucco along the protected facades.

B. PORCHES, STOOPS, BALCONIES, PORTE COCHERE, AND STOREFRONTS

1. GENERAL

Depending upon the style of the building, porches, stoops, balconies, porte cochere, and storefronts may be character defining features. Porches, stoops, balconies, porte cochere, and storefronts are special, and provide interest and variety to the neighborhood. Each style of building uses these features in different ways and it is important to maintain appropriate designs for these elements.

2. GUIDELINES

- a. Historic porches, stoops, balconies, porte cochere, and storefronts are protected.
- b. The enclosure of historic porches, stoops, balconies, porte cochere, storefronts, or any entryway that was not originally enclosed is not permitted, except at side porches where the entire porch is integral to the roof form of the building. A porch, entryway, balcony, porte cochere, or storefront may only be enclosed using the following standards:
 - i. Enclosure shall utilize the maximum amount of glass practical.
 - ii. Glass shall be clear and in the largest expanses practical, with minimal size mullions and muntins.
 - iii. Windows, if used, shall be consistent in style with the historic windows on the building.
 - iv. The design of the enclosure does not draw attention to itself or add details and design features that are incompatible with the historic building, complete with the design of the historic porch.
 - v. Screening is discouraged, but allowed to be used to enclose porches.
- c. The removal of non-historic enclosures from historic porches and entryways is encouraged.



Many of the balconies and porches found on historic buildings in Clinton's commercial area would look inappropriate if modified or enclosed. Clinton, 2011.



A historic brick stoop in downtown Clinton with life-safety modifications. Clinton, 2011

- d. The reconstruction of missing porches and porch features is encouraged, based on documentation of the historic design.
- e. Historic storefronts, including tiled entryways, pressed metal ceilings, trim, etc. are protected.

C. DOORS

I. GENERAL

Historic doors are an important character defining feature of a building. Door design typically provides an accent and may incorporate a special material, finish, or design that provides variety and interest to the neighborhood. Each style of building uses characteristic door styles and it is important to maintain appropriate designs for these elements. For example, a Craftsman style door is not appropriate on an Italianate building.

2. GUIDELINES

- a. Historic doors, including the frame, transoms, sidelights, and hardware, are protected.
- b. Historic doors shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic door size, material, finish (painted or stained), and other design characteristics.
- c. Replacement doors for non-historic doors shall be based either on:
 - i. A design to match the historic door based on adequate documentation
 - ii. A design that is appropriate to the style of the building
- d. The retention of historic screen doors is encouraged.

D. WINDOWS

I. GENERAL

Historic windows are one of the most important character defining features of a building. Windows in the district vary according to the style of buildings from simple single hung, one-over-one light windows to decorative leaded glass casement windows. Typically

windows within a building are of one or two types with occasional accent windows that may include special designs. Some windows are arched or include arched surrounds that serve as important character defining features. Each style of building uses characteristic styles of windows and it is important to maintain appropriate designs for these elements. For example, a Folk Victorian style window is not appropriate on a Craftsman style building.

2. GUIDELINES

- a. Historic windows, including the sash, frame, glazing, and sill are protected. Historic shutters are also protected.
- b. Historic windows and shutters shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic window size, material, finish (painted or stained), window pane number and configuration, and other design characteristics. When there is severe deterioration of windows such that repair is not practical, this condition shall be documented in written and photographic form before alterations are made.
- c. Replacement windows or shutters for non-historic windows shall be based either on:
 - i. A design to match the historic window based on adequate documentation, or
 - ii. A design that is appropriate to the style of the building
- d. Replacement windows shall incorporate true divided lights (real window panes). Plastic divider strips on the interior side of the glass are not permitted as a means of simulating divided lights.
- e. Glazing shall be clear, without tint or reflectivity, except that where glazing must be replaced and an insulated glass unit is appropriate, a clear Low E coating is permitted upon review by the Commission.
- f. Replacement glazing shall match the historic glazing where possible.



The windows on this building from Lawyer's Row help provide balance to the Greek Revival façade. Clinton, 2011.



These narrow windows with their arched lintels and painted shutters provide this commercial building with much of its character. The shutters help prevent heat gain from the sun, and protect the windows themselves. Clinton, 2011.

- g. The restoration of specialty glass, art glass, stained glass, and leaded glass is encouraged to be treated by an artisan or specialist in this area.
- h. Storm windows and doors are permitted and may be approved if they are easily removable and do not damage the historic windows and doors.

E. ROOFING

1. GENERAL

Historic or typical roofing materials in the historic district include clay tile, slate, and composition shingle where wood shingles once existed. Roofing is the single most important component of a building envelope, protecting other materials as well as the building interior from the damaging effects of water and moisture. Therefore, the maintenance of a roof is critical to the preservation of the building. Roof forms and materials are character defining features of a building.

2. GUIDELINES

- a. Historic roofing, including eaves, soffits, cornices, parapets, coping, dormers, and decorative elements, such as cresting, and roof forms are protected.
- b. Historic roofing shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the roofing material, texture, color, and shape where possible, or be similar in appearance to the historic roofing.
- c. Replacement roofing for non-historic roofing shall be based either on:
 - i. Roofing that matches or is similar in appearance to the historic roofing based on adequate documentation.
 - ii. Roofing that is appropriate to the style of the building.
 - iii. Substitute materials that simulate historic roofing materials are permitted where their design is appropriate.

F. EXTERIOR LIGHTING

1. GENERAL

It is recognized that exterior lighting is important and necessary in the commercial areas of the district. Historic light fixtures are typically accent features that may incorporate a special material, finish, or design that provides variety and interest to the district. Each style of building uses characteristic styles of lighting and it is important to maintain appropriate designs for these elements. For example, a Folk Victorian style light fixture is not appropriate on a Craftsman style building.



A small, unobtrusive exterior light fixture in downtown Clinton, 2011

2. GUIDELINES

- a. Historic light fixtures are protected.
- b. Historic light fixtures shall be repaired rather than replaced.
- c. Replacement light fixtures shall be of a design that is appropriate to the style of the building, and shall match any existing historic light fixtures in material, size, shape, and design when possible.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment is generally located out of view from public streets and screened with landscaping. Insensitive installation of mechanical equipment and other site or building accessories, such as satellite dishes and television receivers, can cause damage to historic materials and alter the visual qualities of a building.

2. GUIDELINES

- a. Mechanical equipment, including satellite dishes and other building accessories, shall not be visible from a public street, or landscape shall obscure the visibility of the equipment.
- b. Window heating and air-conditioning units are discouraged. However, if window units are necessary, they shall be located on a non-protected façade, and shall not be visible from the street. Reference Diagrams 4.2-1 and 4.2-2 for information on protected facades.

H. ACCESSIBILITY

I. GENERAL

Accessibility to a building by those with disabilities is necessary. Care must be taken not to damage or make inappropriate alterations to the visual qualities of a building and site. Most historic buildings in the historic district are built with a pier and beam foundation that raises the first floor off the ground; this requires an accessible ramp of some length. The presence of a cast iron storefront or raised entryway might also require the presence of an accessible ramp. The intent of the guidelines below is to minimize the impact of accessibility on the protected facades of the main building.

2. GUIDELINES

- a. Locating ramps or other accessibility related elements on the side or rear of the main building is encouraged.
- b. The installation of a ramp or other accessibility related elements shall not damage or obscure the character defining features of the main building. Where a ramp must be added to the front façade of a commercial building that includes a character-defining feature like a raised entry or storefront, the accessible ramp shall be as subtle or non-obtrusive as possible, and shall be reviewed by the Commission for appropriateness.
- c. The use of gently sloped ground and sidewalks to avoid the construction of ramps is encouraged, where possible.
- d. The design of ramps and other accessibility related elements shall be appropriate to the style of the building, but without accurate period details.



This small ramp located in the center of the pictured walkway helps ensure that Americans with disabilities have equal access to Clinton's historic commercial areas. Clinton, 2011.

I. ENVIRONMENTAL

I. GENERAL

Making environmentally sustainable choices and improving the energy performance of a building are necessary but they can also cause damage or alter the visual qualities of a building and site. Historic buildings typically already incorporate many environmentally sustainable design features such as cross ventilation as well as shading on south and west sides of the building. Reuse of existing buildings is a sustainable act in and of

itself. The intent of the standards below is to minimize the impact of environmental-driven improvements on the protected facades of the main building.

2. GUIDELINES

- a.** Solar panels located on roofs facing front or side streets are not permitted. Solar panels located on flat or parapet roofs, or in areas that are not visible from the street are permitted.
- b.** Storm windows and doors are permitted and may be approved if they are easily removable and do not damage the historic windows and doors.
- c.** Awnings, canopies, and other removable sun shading devices are permitted. These elements shall match the historic awnings, canopies, and sun shading devices where possible.
- d.** Shutters that operate are permitted where appropriate to the style of the building as a means of improving energy efficiency and protecting windows during storms.
- e.** The replacement of windows solely for environmental or energy efficiency reasons is not permitted.

J. ACCESSORY STRUCTURES

1. GENERAL

Historic accessory structures such as garages and other outbuildings are protected, where they are visible from a public street. Historic accessory structures shall maintain their historic integrity.

2. GUIDELINES

- a.** The removal of historic accessory structures that are visible from the street is not permitted. Historic accessory structures shall be repaired rather than replaced.
- b.** When removal of an historic accessory structure is necessary due to extreme structural instability or other hazardous conditions, the removal must be approved by the Commission.
- c.** Replacement or new accessory structures shall be of a design that is appropriate to the style of the building, and shall match any original historic

accessory structure in size, shape, and design when possible.

4.2.3 MATERIALS

Historic materials provide individual properties and the district at large with authenticity and integrity. Historic materials are protected, and should always be repaired rather than replaced whenever possible. The historic district includes several types of historic materials, and each imparts a unique quality and sense of character to the district as a whole. The maintenance of historic building materials is a vital part of preserving character defining features in the historic district.

A. WOOD

1. GENERAL

Wood is used for clapboard, weatherboard, wall shingles, doors, windows, and trim. In addition, door and window surrounds, transoms, exposed rafter ends, sun screening elements, porch elements, brackets, balustrades, and decorative elements are also typical character defining features built of wood.

2. GUIDELINES

- a. Historic wood features are protected.
- b. Historic wood features shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall always match the historic element in appearance, dimension, form, and texture. The replacement shall match the original material where possible.
- c. Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for shingles and other elements that were historically unpainted.
- d. Paint removal methods that involve thermal devices, failure to neutralize chemical strippers, stripping over a prolonged period such that the grain is raised and the surface is roughened, and mechanical abrasive methods to remove paint are not permitted.



This structure next to the courthouse incorporates both wood and masonry elements. Clinton, 201.1

B. MASONRY

1. GENERAL

Masonry includes brick, stone, cast stone, mortar, and concrete. These materials are typically used as either the primary façade material or as accent materials. Masonry is typically considered a character defining feature.

2. GUIDELINES

- a. Historic masonry and features such as texture, tooling, bonding patterns, and joint treatment are protected.
- b. Historic masonry features shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic material, size, form, texture, bonding pattern, joint size, shape, appearance, and mortar.
- c. Painting, waterproofing, water repellent treatments and other coating of historic brick, stone, and cast stone is not permitted, except if it can be shown that the material was painted at the time the building was constructed or if it can be demonstrated that the masonry is unable to perform and is causing water penetration problems.
- d. Cleaning of masonry should only be undertaken when necessary to stop deterioration and should employ the gentlest means possible, such as low pressure water and soft bristle brushes. Cleaning with chemical cleaners or micro-abrasive systems shall be tested on a hidden area of the building to determine if damage will occur and to ensure an appropriate cleaning treatment.
- e. Mechanical abrasive methods of cleaning such as grit or sand-blasting are not permitted.
- f. Repointing of masonry should be undertaken only where joints are deteriorated—when mortar is missing, loose, or otherwise failing. Cutting out of joints shall be undertaken with care not to damage the masonry unit. Mortar for repointing masonry shall match the historic mortar in material compressive strength, appearance, joint profile, and dimension. Ready-made gray cement mortars



A masonry building with stucco along the roofline and cast iron columns combines the most common materials on one façade. Clinton, 2011.

are typically not a good match to historic mortars and shall not be used.

- g. The removal of paint and other coatings that were not historically part of the building is permitted where testing has confirmed that the removal methods will not do harm to the masonry. The use of mechanical abrasive methods such as grit or sand blasting to remove paint or other coatings is not permitted.

C. STUCCO

I. GENERAL

The historic district includes several building styles that include stucco as an exterior finish material. Stucco textures range from a smooth to rough finish. The stucco comes in a variety of colors ranging from white, to tan, to red, and brown. Stucco is a character defining feature within the district.

2. GUIDELINES

- a. Historic stucco is protected, and shall be repaired rather than replaced.
- b. The finish, color, and texture of historic stucco is also protected.
- c. Where removal of historic stucco is necessary due to severe damage or deterioration, new stucco shall be applied that matches the historic material in texture and color.

D. METALS

I. GENERAL

The historic district includes a variety of metal features that range from metal roofing to cast iron and wrought iron architectural features. Metal roofing is addressed separately in the Design Guidelines, under the "Roofing" section in 4.2.3.E. Some of the cast iron and wrought iron features that are addressed here are structural, while other features are purely decorative. Metal is found in the historic district typically as porch or gallery elements, railings, fencing, decorative screens, brackets, grillwork, and vents. Metal materials may include cast iron, wrought iron, aluminum, zinc, tin, and steel. Both structural and decorative metal features on historic buildings are considered character defining features.

2. GUIDELINES

- a. Historic metal in accent elements is protected.
- b. Historic metal shall be repaired rather than replaced. However, if replacement is necessary due to severe deterioration or damage, the replacement shall match the historic element in all respects.
- c. Retaining historic metal components such as gutters, down spouts, mailboxes, and hardware is encouraged.
- d. Historic metal patina shall be retained. The patina may be protected with a clear coating, if desired.
- e. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.
- f. Cleaning of metals shall be undertaken using the gentlest means possible and with testing in obscure areas to determine if any damage will occur.
- g. Mechanical abrasive cleaning and paint removal methods such as grit or sand blasting and harsh chemicals are discouraged.

E. PAINT AND COLOR

1. GENERAL

The preservation of a paint record for historic properties and appropriate paint color selections for repainting campaigns are important to the record and character of a historic neighborhood. Today, most of the historic paint has been painted over and often in very different colors. Paint color, particularly for buildings made primarily of painted wood, is a character defining feature.

2. GUIDELINES

- a. Historic paint shall be preserved in place where possible beneath new paint. It is recommended that where removal of all paint is necessary to achieve a proper bond for new paint, retain a small area with the full record of paint layers.



The paint colors on these commercial buildings are appropriate, and the paint helps protect the materials from the weather elements. Clinton, 2011.

- b.** Paint removal, where necessary, shall be undertaken without causing damage to the historic wood, metal, or other substrate material.
- c.** Paints and color choices on the exterior of a contributing structure are encouraged to be appropriate for the style of the building. However, the Commission will not review paint colors.

5.1 RESIDENTIAL GUIDELINES FOR ADDITIONS AND NEW CONSTRUCTION

5.1.0 APPLICABILITY

The Residential Guidelines for Additions and New Construction apply to alterations and additions to contributing properties in the historic district as well as new construction built within the historic district. Contributing and non-contributing properties are identified in Section 2.0.

It is recognized that changes to and the expansion of historic buildings are a necessary part of a building's evolution. These guidelines are intended to manage that change in a way that protects the character defining features of the district.

Additions shall be designed to minimize their impact on the historic design and materials of the main building. Additions shall be compatible with the main building in massing, size, scale and material. Whenever possible, new additions to buildings should be done in such a manner that, if removed in the future, the essential form and integrity of the historic building and site would be unimpaired. Additions shall also be designed to be distinct from the original historic building, clearly not historic, and shall not create false history by adding conjectural features.

The Guidelines are intended to protect the protected facades of the main building as defined by Diagram 5.1-1 for corner lots and Diagram 5.1-2 for interior lots. Protected facades are those facades that are typically visible from public streets.

Additions to non-protected facades shall also be appropriate.

New construction shall be designed to be compatible with the district's historic buildings in massing, size, scale, and materials. New construction shall be designed to be appropriate, yet also distinct from the historic buildings: new construction shall not create false history by attempting to exactly copy or replicate historic buildings.

5.1 SITE

Typically, the main buildings in the district are set back more than twenty-five feet from the street, but not consistently; therefore, there is no consistent dimension for setbacks, and the standard is based on that established by local zoning

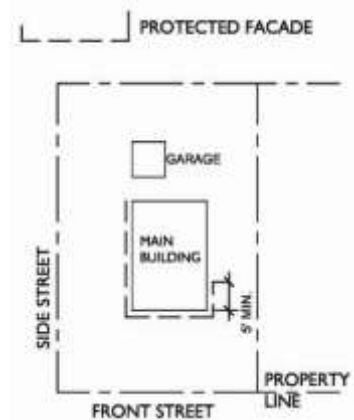


Diagram 5.1-1: Protected facades at corner lots



Diagram 5.1-2: Protected facades at interior lots

ordinances. Historically, accessory buildings were sometimes placed on or very near the side or back property line. These characteristics of the historic development are intended to be protected by the following guidelines.

A. SETBACK

1. GENERAL

Setback is the distance between a building's façade and the building's property line, and is used by local zoning ordinances to ensure that the historic district maintains a cohesive look and feel. Setbacks should be cohesive within the historic district, and maintained as a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Refer to local and Parish zoning ordinances for further information on setbacks.
- b. The historic front yard setback is protected; additions shall not encroach onto historic front yards.
- c. Additions shall be set back from the front face of the historic main building by a minimum of five feet and shall be limited to the area defined in Diagram 5.1-3 and 5.1-4.
- d. Reconstructed features of historic buildings, including additions, shall be constructed based on documentary evidence of their historic appearance and location. When additions must be reconstructed due to poor condition or damage, the addition shall be permitted to be constructed in the same location and with the same size, scale, and massing as the historic addition.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Refer to local and Parish zoning ordinances for further information on setbacks.
- b. New construction shall use the same setbacks as the historic buildings in the district. If the setbacks for the historic buildings are inconsistent within the district, then the new construction shall use the same setbacks as the historic buildings within one block.



The addition on this historic house is appropriately set back from the main building. Clinton, 2011.

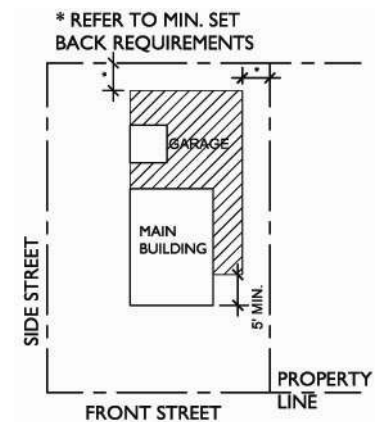


Diagram 5.1-3: Area of permitted addition location on corner lot

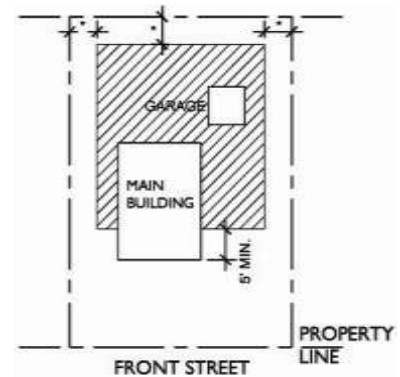


Diagram 5.1-4: Area of permitted addition on interior lot

B. BUILDING HEIGHT

1. GENERAL

Building heights within the historic district are character defining features, and should be relatively consistent throughout the district. Maintaining cohesiveness between minimum and maximum building heights is important to protecting the look and feel of the district.

2. GUIDELINES FOR ADDITIONS

- a. The maximum building height of additions shall be limited to the maximum height of the existing historic main building. Additions shall not be used to determine the maximum building height allowed for additions. The existing height shall be measured to the peak or ridge of the highest roof on the main building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. The maximum building height of new construction shall be limited to the maximum height of the tallest historic building within view of the new construction. New buildings shall not be used to determine the maximum building height allowed for new construction. The maximum height shall be measured to the peak or ridge of the highest roof on the main building.

C. MAXIMUM LOT COVERAGE

Refer to local and Parish zoning ordinances for maximum lot coverage of buildings and additions.

D. GARAGE, CARPORT, AND PARKING AREA LOCATION AND ORIENTATION

1. GENERAL

Parking garages, carports, and large, paved driveways were not historically part of the district; parking was available on the street, in smaller gravel driveways, and in the form of carriage houses and stables. Today, it is recognized that off-street parking and separate parking structures are necessary. Additions to garages, carports, or off street parking areas shall not detract from the historic district in any way.

2. GUIDELINES FOR ADDITIONS

- a. Garages and carports are permitted within the hatched area indicated on Diagram 5.1-5 for corner lots and Diagram 5.1-6 for interior lots.

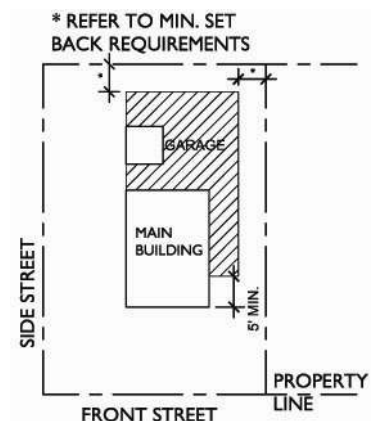


Diagram 5.1-5: Area of permitted garage location for corner lots

- b. Garages and carports shall be separated from the main building and under an independent roof.
- c. Garages and carports shall be set back from the front of the main building by a minimum of twenty feet.
- d. An attached garage or carport is permitted at the rear of the main building when it is not visible from the street.
- e. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

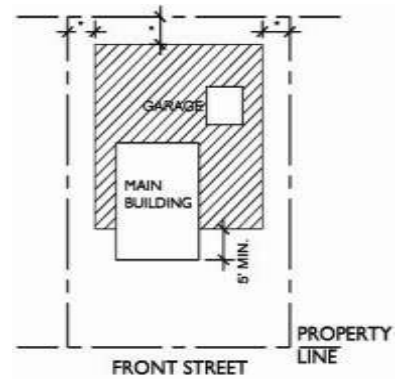


Diagram 5.1-6: Area of permitted garage location for interior lots

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Garages and carports are permitted within the hatched area indicated on Diagram 5.1-5 for corner lots and Diagram 5.1-6 for interior lots.
- b. Garages and carports shall be separated from the main building and under an independent roof.
- c. Garages and carports shall be set back from the front of the main building by a minimum of twenty feet.
- d. An attached parking structure is permitted at the rear of the main building when it is not visible from the street.
- e. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

E. WALKWAYS

1. GENERAL

Residential properties have varying setbacks from the street, and therefore a variety of walkway conditions. Walkways in the district are typically concrete or brick.

2. GUIDELINES FOR ADDITIONS

- a. Primary walkways on additions shall be compatible with the historic walkway of the main building.

- b. Additions to historic or existing walkways shall be compatible with the existing walkway.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Primary walkways on new construction shall be compatible with the historic walkways in the district.
- b. New or replacement walkways shall be compatible with the existing walkways in the district.



This new concrete and asphalt driveway is still appropriate for the historic building due to its size and location, and lack of high curbs. Clinton, 2011.

F. DRIVEWAYS

1. GENERAL

Simple concrete and gravel driveways lead to concrete and gravel parking areas. Driveways are usually located directly in front of or next to each property, and each parking area of driveway is typically the width of one vehicle. Street parking is also available throughout the district. Driveways on adjoining residential properties are typically not located side-by-side, and instead have green spaces or landscaping between them.

2. GUIDELINES FOR ADDITIONS

- a. Driveways on additions shall be compatible with the historic driveways.
- b. Side-by-side driveways, where a driveway is placed next to a neighboring property driveway, are not permitted unless there is no reasonable alternative.
- c. Additions to driveways shall be compatible with the historic driveways.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Driveways on new construction shall be compatible with the historic walkways in the district.
- b. New or replacement driveways shall be compatible with the existing walkways in the district.

G. LANDSCAPE

1. GENERAL

Landscaping varies, but the predominant features include native landscaping such as oak trees, pine trees, azalea bushes, and large grassy areas. Grassy areas also line the streets and are used between parking areas. Landscaping can be used to help obscure garages, unsightly mechanical equipment, or additions to a historic building.

2. GUIDELINES FOR ADDITIONS

- a. Landscaping that is native to south Louisiana, including, but not limited to, healthy trees, shall be maintained as character defining features.
- b. Grass and vegetation shall be mowed, trimmed, and generally maintained.
- c. Landscaping that is used to obscure garages, carports, mechanical equipment, and additions to historic buildings is encouraged.

3. GUIDELINES FOR NEW CONSTRUCTION

See Guidelines for Additions above.



The historic fence is a character defining feature of this property, and any additions to the fence should match the historic fence. Clinton, 2011.

H. FENCING, WALLS, AND OTHER SITE CHARACTERISTICS

1. GENERAL

Historically, some properties included some form of simple wooden fencing along property lines that helped provide separation between neighboring properties. The district historically included cast or wrought iron fences, wooden picket fences, and the occasional masonry site wall. Since fencing is commonly found within the residential area, it is considered a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Historic fencing and site walls shall be repaired rather than replaced. An addition to an existing fence shall be similar to the historic fencing in size, placement, and material. See Diagram 5.1-7 and 5.1-8 for placement.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. New fencing and site walls shall be compatible with historic fencing and site walls in the district. See Diagram 5.1-7 and 5.1-8 for placement.

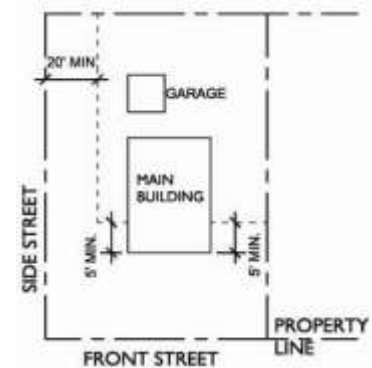


Diagram 5.1-7: Permitted fencing location on corner lots



Diagram 5.1-8: Permitted fencing location for interior lots

5.2 FEATURES

A. FORM AND STYLE

1. GENERAL

The form and style of a historic building is one of the most important building features that gives the historic district its character. Additions to historic building should be completed very carefully, taking the form and style of the main building into consideration at all times. Refer to Section 3 (Architectural Style Guide), other style guides and other property in the neighborhood for appropriate design precedents.

2. GUIDELINES FOR ADDITIONS

- a. Additions located at the rear of the property, where they are not visible from the street, are encouraged.
- b. Horizontal additions shall be set back a minimum of five feet from the adjacent front façade and within the area or permitted addition locations indicated in Diagram 5.1-3 for corner lots and Diagram 5.1-4 for interior lots.
- c. Vertical additions are limited by the height of the existing building within sight lines visible from the street. Refer to Diagram 5.1-9 to define sight lines for visibility.

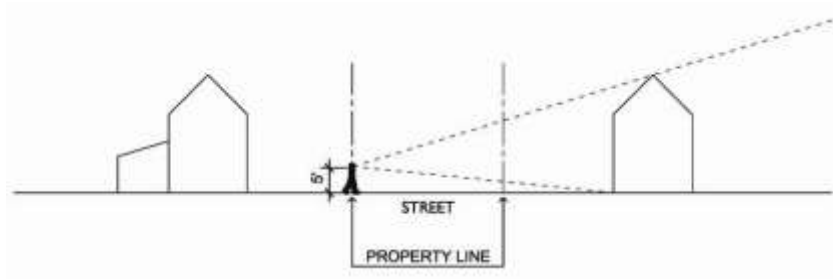


Diagram 5.1-9: Sight lines used to determine visibility

- d. Additions shall not destroy, damage, or obscure character defining historic features that are visible from the street.
- e. Additions shall be designed to be appropriate to the style of the historic building.

- f. Additions shall be compatible in form, scale, materials, and workmanship, and shall not result in the diminution or loss of historic character of the historic building or the district.
- g. Additions shall be designed such that they are visually distinct from the historic building and in a manner that makes clear what is historic and what is new.
- h. Additions that accurately replicate or imitate the historic style of the historic building are not permitted.
- i. Where possible and where an addition is of sufficient size to warrant this approach, additions shall be separated from the historic building by a recessed, lowered roof or otherwise distinguished “link” or “hyphen” that creates a visual distinction between the form of the historic building and the addition. Where appropriate, this pause may be constructed primarily of glass. In this way, the form of the historic building may remain unaltered while the addition retains a form of its own.
- j. Additions shall be constructed in such a manner that, if removed in the future, the essential form and integrity of the historic building would be unimpaired.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Historically accurate replicas or imitations of buildings not originally on the property are not permitted; however, accurate reconstructions of buildings or portion of buildings that once existed on the property, where there is adequate documentation to support reconstruction, is permitted.
- b. New construction shall be compatible with the scale and form of the historic main buildings in the district.

B. PORCHES, STOOPS, BALCONIES, AND PORTE-COCHERE

1. GENERAL

Historic porches, stoops, balconies, and porte-cochere are features that provide interest and character to a building which helps to make new construction more compatible with the historic district. The district includes a wide variety of size and types of porches (first story only), balconies (second story only), and galleries (two stories) from attached, covered structures to inset types that are housed under the main roof of the building. Stoops are used to accentuate an entrance walk or the entrance to the building in a subtle way while porte-cochere provide a covered passage for automobiles while shielding the garage structure from the street.

2. GUIDELINES FOR ADDITIONS

- a. Additions to historic porches, balconies, stoops, and porte-cochere are not permitted.
- b. The addition of a porch, stoop, balcony, or porte-cochere on a main building that did not originally have this feature is not permitted.
- c. The reconstruction of a porch, stoop, balcony or porte-cochere based on adequate documentation of the historic appearance is encouraged.

3. GUIDELINES

- a. Porches, stoops, balconies, and porte-cochere are encouraged in new construction.
- b. Porte-cochere are not permitted to be located directly in front of the main building entrance.

C. DOORS

1. GENERAL

Entrance doors are often used to create interest and a focal point for a front façade, through the use of moldings, porches, stoops, decorative surrounds, and special door designs and color. Front doors often include screen doors as well.



Any additions or modifications to this Greek Revival front porch would negatively affect the form and style of the main building, and such an addition would not be permitted. Clinton, 2011.

2. GUIDELINES FOR ADDITIONS

- a. Doors on an addition shall be compatible in style, form, size, and material with the historic building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. One primary front door or pair of doors shall be provided. Additional entrances may be provided but their design shall be less prominent than that of the primary entrance.
- b. Doors shall be compatible in size and material with the historic buildings in the district.

D. WINDOWS

1. GENERAL

Windows are one of the most important character defining features of a building. Windows shall maintain consistency in style, dimension, and material with historic windows. Historically, windows included screens on the exterior, or interior for some types of windows. Some historic windows included leaded art glass or stained glass that provides additional interest. Historic windows are typically made of one sheet of glass per light, while today's more energy efficient windows typically employ two sheets of glass with a divider strip between them that creates an air space.

2. GUIDELINES

- a. Windows on an addition shall be compatible in style, form, size, and material with the windows of the historic building.
- b. The proportion of windows and the ratio of window to wall shall be similar to that of the historic building.
- c. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that of a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- d. Window screens that match the historic window screens are encouraged.



The size, placement, and wood materials of these historic windows are major contributing factors to the form and style of this historic building, and any additions to the building should incorporate the same or similar characteristics. Clinton, 2011.

- e. Window shutters, where appropriate to the style of the building are encouraged.
- f. Storm windows and doors are permitted and maybe approved if they are easily removable and do not damage the historic windows and doors.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. The proportion of windows and the ratio of window to wall shall be similar to that of the historic buildings in the district.
- b. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that or a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- c. Window screens are encouraged.
- d. Window shutters, where appropriate to the style of the building are encouraged.

E. ROOFING

1. GENERAL

Roofs that are visible from the street are character defining features of a building and one of the most important components to maintain in good condition in order to preserve other historic features and materials. Roofs include drainage components such as gutters and downspouts, chimneys and flashing, and sometimes decorative features such as cresting, dormer windows, and special trim elements.

2. GUIDELINES FOR ADDITIONS

- a. Roofing on an addition shall match or be similar to the roofing on the historic building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Roofing shall be compatible in scale and material with the historic buildings in the district.

F. EXTERIOR LIGHTING

1. GENERAL

Historic lighting at primary entrances and porches is a character defining feature. Supplemental lighting may be required to meet current expectations for light levels and for security purposes.

2. GUIDELINES FOR ADDITIONS

- a. Exterior lighting on additions shall be compatible with the exterior lighting on the historic building.
- b. The addition of exterior lighting shall be compatible with the historic lighting.
- c. Extensive exterior lighting that increases the light level at the addition beyond the light level at the front door of the building is discouraged.
- d. Locating utilitarian security lighting out of view from the street is encouraged.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Lighting shall be compatible in scale and material with the exterior lighting on the historic buildings in the neighborhood.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment such as condensing units or large ventilation fans can be inappropriate additions to protected facades. In all cases, mechanical equipment should be concealed as much as possible from the street.

2. GUIDELINES FOR ADDITIONS

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where it is not visible from a public street.
- c. Window heating and air-condition units are discouraged. However, if window units are necessary, they shall be located on a non-protected façade, and shall not be visible from the street. Reference Diagram 5.1-1 and 5.1-2 for information on protected facades.

3. GUIDELINES FOR NEW CONSTRUCTION

See Guidelines for Additions above.

H. ACCESSIBILITY

I. GENERAL

Accessibility to a building by those with disabilities is sometimes needed with a residential building. Care must be taken not to damage or make inappropriate alterations to the visual qualities of a building and site. Most historic buildings in the historic district are built with a pier and beam foundation that raises the first floor off the ground; this requires an accessible ramp of some length. The presence of a porch or raised entryway might also require the presence of an accessible ramp. The intent of the guidelines below is to minimize the impact of accessibility on the protected facades of the main building.

2. GUIDELINES FOR ADDITIONS

- a. Refer to Chapter 4 for guidelines associated with the addition of a ramp.
- b. A lift or elevator addition shall be located where it is not visible from a public street, where possible.
- c. A lift or elevator shall be compatible in style, scale, and material with the historic main building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Elements associated with accessibility shall be compatible in scale and material with the historic buildings in the district.

I. ENVIRONMENTAL

I. GENERAL

Reducing energy costs, designing sustainable buildings and protecting our environment are important goals that sometimes conflict with preservation of historic buildings. These guidelines intend to encourage energy efficient and sustainable design wherever there are no adverse effects on the historic building.



A ramp located to the side of this historic house is appropriately placed, and includes painted wood elements, which are also appropriate for this building. Clinton, 2011.

2. GUIDELINES FOR ADDITIONS

- a. Solar panels located on roofs facing front or side streets are not permitted. Solar panels located on flat or parapet roofs, or in areas that are not visible from the street are permitted.
- b. Storm windows and doors are permitted and maybe approved if they are easily removable and do not damage the historic windows and doors.
- c. Awnings, canopies, and other removable sun shading devices are permitted. These elements shall match the historic awnings, canopies, an sun shading devices where possible.
- d. Shutters that operate are permitted where appropriate to the style of the building as a means of improving energy efficiency and protecting windows during storms.
- e. The replacement of windows solely for environmental or energy efficiency reasons is not permitted.
- f. Green roofs, defined as planted roof areas, are permitted where they are not visible from the street.
- g. Rainwater harvesting is permitted where it is not visible from the street.

3. GUIDELINES FOR NEW CONSTRUCTION

See Guidelines for Additions above.

J. ACCESSORY STRUCTURES

I. GENERAL

Accessory structures are generally smaller in size and simpler in detail than the main building, and are often garage buildings. Some properties in the district have more than one accessory building.

2. GUIDELINES FOR ADDITIONS

- a. Additions to accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. Additions to accessory buildings shall be lower in height than the main building.

- c. Additions to accessory buildings shall be compatible in style, form, and materials where they are visible from the street.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. New accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. New accessory buildings shall be compatible with other accessory buildings in the district in size, scale, and materials.
- c. The reconstruction of replacement accessory structures in the same location and in the same design as the original is encouraged, where adequate documentation is available.

5.3 MATERIALS

I. GENERAL

The predominant materials in the neighborhood are described in Section 4.3 and in Section 3 (Architectural Style Guide). It is the intent of these Guidelines to maintain consistency in the choice of and quality of materials for additions and new construction with the historic materials. Substitute materials in many respects can achieve the same effect as the historic material, sometimes with improved performance. In some instances, substitute materials do not provide equivalent quality and craftsmanship and thus are not compatible with historic materials; these materials are not permitted. In all cases, materials that are used in additions and new construction shall be compatible with the materials of the historic building, and should be appropriate to the style of the building.

A. WOOD

I. GENERAL

Wood is used for clapboard, weatherboard, wall shingles, doors, windows, and trim. In addition, door and window surrounds, transoms, exposed rafter ends, sun screening elements, porch elements, brackets, balustrades, and decorative elements are also typical character defining features built of wood.



The addition to this historic, wood house appropriately includes the same or similar painted wood siding as the main building. Clinton, 2011.

2. GUIDELINES FOR ADDITIONS

- a. Wood elements used on additions shall match the wood elements on the historic building in appearance, dimension, form, and texture. The wood elements shall match the original material where possible. Hardi-board is an acceptable substitute for wood siding.
- b. Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for shingles and other elements that were historically unpainted.
- c. Plastic or vinyl materials are not considered appropriate alternatives to wood materials.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Wood materials that are used in new construction shall be compatible with the materials of the district's historic buildings.
- b. Materials that are appropriate to the style of the building shall be used.
- c. Plastic and vinyl fencing, plastic divider strips applied to the interior face of glass to simulate divided light windows, and vinyl and aluminum siding are not considered appropriate alternatives for wood materials.

B. MASONRY

1. GENERAL

Masonry includes brick, stone, cast stone, mortar, and concrete. These materials are typically used as either the primary façade material or as accent materials. Masonry is considered a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Masonry elements on additions shall match the masonry elements on the historic building in material, size, form, texture, bonding pattern, joint size, shape, appearance, and mortar.
- b. Simulated stone is not an appropriate alternative to masonry.
- c. Veneer brick consisting of a thin cementitious material scored and colored to simulate brick is not an appropriate alternative to masonry.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Materials that are used in new construction shall be compatible with the materials of the district's historic buildings.
- b. Materials that are appropriate to the style of the building shall be used.
- c. Simulated stone and veneer brick consisting of a thin cementitious material scored and colored to simulate brick are not considered appropriate alternatives to masonry.

C. STUCCO

1. GENERAL

The historic district includes several building styles that include stucco as an exterior finish material. Stucco textures range from a smooth to rough finish. The stucco comes in a variety of colors ranging from white, to tan, to red, and brown. Stucco is a character defining feature within the district.

2. GUIDELINES FOR ADDITIONS

- a. Stucco used on the addition to a historic building shall match the historic material in texture and color.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Stucco used in new construction shall be compatible with the stucco used on historic buildings in color and texture.

D. METALS

1. GENERAL

The historic district includes a variety of metal features that range from metal roofing to cast iron and wrought iron architectural features. Metal roofing is addressed separately in the Design Guidelines, under the "Roofing" section. Some of the cast iron and wrought iron features that are addressed here are structural, while other features are purely decorative. Metal is found in the historic district typically as porch or gallery elements, railings, fencing, decorative screens, brackets, grillwork, and vents. Metal materials may include cast iron, wrought iron, aluminum, zinc, tin, and steel. Both structural and decorative metal features on historic buildings are considered character defining features.

2. GUIDELINES FOR ADDITIONS

- a. Metal elements used in additions shall match the corresponding metal elements on the historic building element in all respects.
- b. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Metal elements used in new construction shall be compatible with the corresponding metal elements on the historic buildings.
- b. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.
- c. Highly reflective metal elements including sheet metal are discouraged.

E. PAINT AND COLOR

I. GENERAL

The paint record for historic properties and appropriate paint color selections for repainting campaigns are important to the record and character of a historic neighborhood. Today, most of the historic paint has been painted over and often in very different colors. Paint color, particularly for buildings made primarily of painted wood, is a character defining feature, and additions should always have compatible paint colors.

2. GUIDELINES FOR ADDITIONS

- a. Paint and color choices on the exterior of an addition are encouraged to be appropriate for the historic building. However, paint colors will not be reviewed by the Commission.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Paint and color choices on the exterior of new construction are encouraged to be appropriate for the historic district. However, paint colors will not be reviewed by the Commission.

5.2 COMMERCIAL GUIDELINES FOR ADDITIONS AND NEW CONSTRUCTION

5.2.0 APPLICABILITY

The Commercial Guidelines for Additions and New Construction apply to alterations and additions to contributing properties in the historic district as well as new construction built within the historic district. Contributing and non-contributing properties are identified in Section 2.0.

It is recognized that changes to and the expansion of historic buildings are a necessary part of a building's evolution. These guidelines are intended to manage that change in a way that protects the character defining features of the district.

Additions shall be designed to minimize their impact on the historic design and materials of the main building. Additions shall be compatible with the main building in massing, size, scale, and material. Whenever possible, new additions to buildings should be done in such a manner that, if removed in the future, the essential form and integrity of the historic building and site would be unimpaired. Additions shall also be designed to be distinct from the original historic building, clearly not historic, and shall not create false history by adding conjectural features.

The Guidelines are intended to protect the protected facades of the main building as defined by Diagram 5.2-1 for corner lots and Diagram 5.2-2 for interior lots. Protected facades are those facades that are typically visible from public streets.

Additions to non-protected facades shall also be appropriate.

New construction shall be designed to be compatible with the district's historic buildings in massing, size, scale, and materials. New construction shall be designed to be appropriate, yet also distinct from the historic buildings: new construction shall not create false history by attempting to exactly copy or replicate historic buildings.

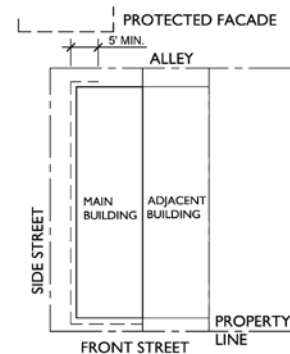


Diagram 5.2-1: Protected facades for corner lots

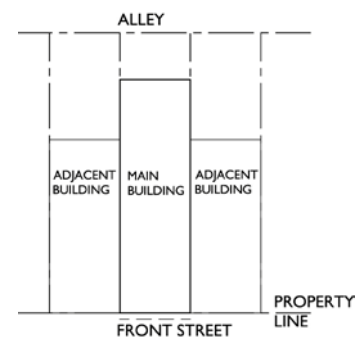


Diagram 5.2-2: Protected facades for interior lots

5.2.1 SITE

Typically, the main buildings in the district are set back between 5 and 15 feet from the street, but not consistently; therefore, there is no consistent dimension for setbacks, and the standard is based on that established by local zoning ordinances. Historically, accessory buildings were sometimes placed on or very near the side or back property line. These characteristics of the historic development are intended to be protected by the following guidelines.

A. SETBACK

1. GENERAL

Setback is the distance between a building's façade and the building's property line, and is used by local zoning ordinances to ensure that the historic district maintains a cohesive look and feel. Setbacks should be cohesive within the historic district, and maintained as a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Refer to local and Parish zoning ordinances for further information on setbacks.
- b. The historic front yard setback is protected; additions shall not encroach onto historic front yards.
- c. Additions shall be set back from the front face of the historic main building by a minimum of five feet and shall be limited to the area defined by Diagram 5.2-3.

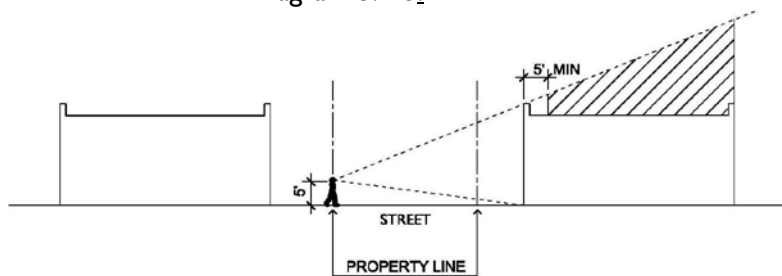


Diagram 5.2-3: Sight lines used to determine visibility for additions

- d. Reconstructed features of historic buildings, including additions, shall be constructed based on documentary evidence of their historic appearance and location. When additions must be reconstructed due to poor condition or

damage, the addition shall be permitted to be constructed in the same location and with the same size, scale, and massing as the historic addition.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Refer to local and Parish zoning ordinances for further information on setbacks.
- b. New construction shall use the same setbacks as the historic buildings in the district. If the setbacks for the historic buildings are inconsistent within the district, then the new construction shall use the same setbacks as the historic buildings within one block.

B. BUILDING HEIGHT

1. GENERAL

Building heights within the historic district are character defining features, and should be relatively consistent throughout the district. Maintaining cohesiveness between minimum and maximum building heights is important to protecting the look and feel of the district.

2. GUIDELINES FOR ADDITIONS

- a. The maximum building height of additions shall be limited to the maximum height of the existing historic main building. Additions shall not be used to determine the maximum building height allowed for additions. The existing height shall be measured to the peak or ridge of the highest roof on the main building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. The maximum building height of new construction shall be limited to the maximum height of the tallest historic building within one block of the new construction. New buildings shall not be used to determine the maximum building height allowed for new construction. The maximum height shall be measured to the peak or ridge of the highest roof on the main building.

C. MAXIMUM LOT COVERAGE

Refer to local and Parish zoning ordinances for maximum lot coverage of buildings and additions.



Clinton's historic commercial buildings are typically 1-2 stories in height, and any additions or new construction should reflect that standard. Clinton, 2011.

D. PARKING STRUCTURE AND PARKING LOT LOCATION AND ORIENTATION

1. GENERAL

Parking structures and large, paved parking lots were not historically part of the district; parking was available on the street, in smaller gravel driveways, and in the form of carriage houses and stables. Today, it is recognized that off-street parking and separate parking structures are necessary. Additions to parking structures or off street parking areas shall not detract from the historic district in any way.

2. GUIDELINES FOR ADDITIONS

- a. Parking lots and structures are permitted within the hatched area indicated on Diagram 5.2-4 for corner lots and Diagram 5.2-5 for interior lots.
- b. Parking lots and structures shall be separated from the main building and under an independent roof.
- c. Parking lots and structures shall be set back from the front of the main building by a minimum of twenty feet.
- d. An attached garage or carport is permitted at the rear of the main building when it is not visible from the street.
- e. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Parking lots and structures are permitted within the hatched area indicated on Diagram 5.2-4 for corner lots and Diagram 5.2-5 for interior lots.
- b. Parking lots and structures shall be separated from the main building and under an independent roof.
- c. Parking lots and structures shall be set back from the front of the main building by a minimum of twenty feet.
- d. An attached parking structure is permitted at the rear of the main building when it is not visible from the street.



This driveway and parking area located next to a historic building is appropriate in size. Note how the mechanical equipment is also appropriately located at the back of the building. Clinton, 2011.

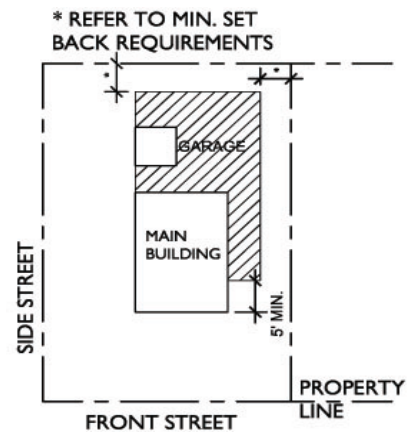


Diagram 5.2-4: Area of permitted parking structure location on corner lots

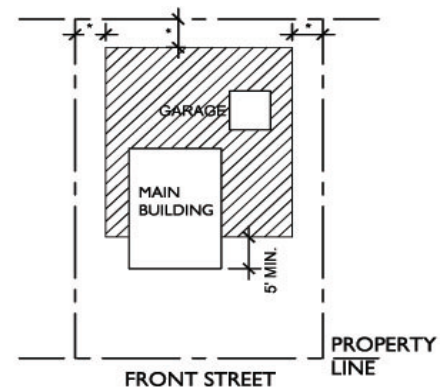


Diagram 5.2-5: Area of permitted parking structure location on interior lots

- e. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.

E. WALKWAYS

1. GENERAL

Walkways in the district are typically concrete or brick.

2. GUIDELINES FOR ADDITIONS

- a. Primary walkways on additions shall be compatible with the historic walkway of the main building.
- b. Additions to historic or existing walkways shall be compatible with the existing walkway.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Primary walkways on new construction shall be compatible with the historic walkways in the district.
- b. New or replacement walkways shall be compatible with the existing walkways in the district.



New or replacement walkways should be similar to the historic walkways in order to “blend in” with the district. Clinton, 2011.

F. DRIVEWAYS

1. GENERAL

Simple concrete and gravel driveways lead to concrete and gravel parking areas. Driveways are usually located directly in front of or next to each property, and each parking area of driveway is typically the width of one vehicle. Street parking is also available throughout the district. Driveways on adjoining residential properties are typically not located side-by-side, and instead have green spaces or landscaping between them.

2. GUIDELINES FOR ADDITIONS

- a. Driveways on additions shall be compatible with the historic driveways.
- b. Side-by-side driveways, where a driveway is placed next to a neighboring property driveway, are not permitted unless there is not reasonable alternative.

- c. Additions to driveways shall be compatible with the historic driveways.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Driveways on additions shall be compatible with the historic driveways.
- b. Side-by-side driveways, where a driveway is placed next to a neighboring property driveway, are not permitted unless there is not reasonable alternative.
- c. Additions to driveways shall be compatible with the historic driveways.

G. LANDSCAPE

1. GENERAL

Landscaping varies, but the predominant features include native landscaping such as oak trees, pine trees, azalea bushes, and grassy areas. Grassy areas line the streets and are used between parking areas. Landscaping can be used to help obscure parking structures, unsightly mechanical equipment, or additions to a historic building. Landscaping is considered a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Landscaping that is native to south Louisiana, including, but not limited to, healthy trees, should be maintained as a character defining feature.
- b. Grass and vegetation shall be mowed, trimmed, and generally maintained.
- c. Landscaping that is used to obscure parking lots and structures, mechanical equipment, and additions to historic buildings is encouraged.

3. GUIDELINES FOR NEW CONSTRUCTION

See Guidelines for Additions above.

H. FENCING, WALLS, SIGNAGE AND OTHER SITE CHARACTERISTICS

I. GENERAL

Historically, some properties included some form of simple wooden fencing along property lines that helped provide separation between neighboring properties. The district historically included cast or wrought iron fences, wooden picket fences, and the occasional masonry site wall. Since fencing is less consistent within the commercial area, it is not considered a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Historic fencing and site walls shall be repaired rather than replaced. It is encouraged that an addition to an existing fence shall be similar to the historic fencing is size, placement, and material.
- b. Signage shall be appropriate for the district in appearance, size, position, method of attachment, texture of materials, and design. Signage shall enhance the quaint and distinctive character of the Clinton Historic District. Signage shall not negatively impact a historic building or the district in any way. No sign shall be displayed or placed in any manner that disfigures or conceals any significant architectural feature or detail of any building. Illuminated, flashing, and changeable-letter signs are not permitted. The surface area of any sign shall be in direct proportion to the amount of front footage of the property. Secondary signs and temporary signs may be permitted upon review. Refer to local zoning ordinances for further information on signage.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. New fencing and site walls are encouraged to be compatible with historic fencing and site walls in the district.
- b. Signage shall be appropriate for the district in appearance, size, position, method of attachment, texture of materials, and design. Signage shall enhance the quaint and distinctive character of the Clinton Historic District. Signage shall not negatively impact a historic building or the district in any way. No sign shall be displayed or placed in



New site wall and fence that references the form and materials of Clinton's historic site walls and fences. Clinton, 2011.

any manner that disfigures or conceals any significant architectural feature or detail of any building. Illuminated, flashing, and changeable-letter signs are not permitted. The surface area of any sign shall be in direct proportion to the amount of front footage of the property. Secondary signs and temporary signs may be permitted upon review. Refer to local zoning ordinances for further information on signage.

5.2.2 FEATURES

A. FORM AND STYLE

1. GENERAL

Refer to Section 3 (Architectural Style Guide), other style guides and other property in the neighborhood for appropriate design precedents. The form and style of a historic building are two of the most important features that give the historic district its look and feel. Additions to historic buildings should be completed very carefully, taking the form and style of the main building into consideration at all times. New construction in the district are also meant to preserve the look and feel of the district by ensuring that new construction is appropriate for the district, and is mindful of the historic building features within the district.

2. GUIDELINES FOR ADDITIONS

- a. Additions located at the rear of the property, where they are not visible from the street, are encouraged.
- b. Horizontal additions shall be set back a minimum of five feet from the adjacent front façade and within the area or permitted addition locations indicated in Diagram 5.2-6 for corner lots and Diagram 5.2-7 for interior lots.
- c. Vertical additions are limited by the height of the existing building within sight lines visible from the street. Refer to Diagram 5.2-3 to define sight lines for visibility.
- d. Additions shall not destroy, damage, or obscure character defining historic features that are visible from the street.

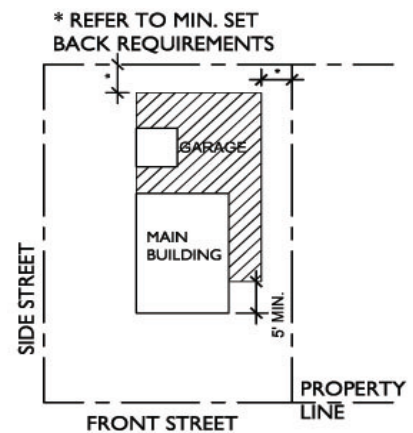


Diagram 5.2-6: Area of permitted additions parking structure location on corner lots

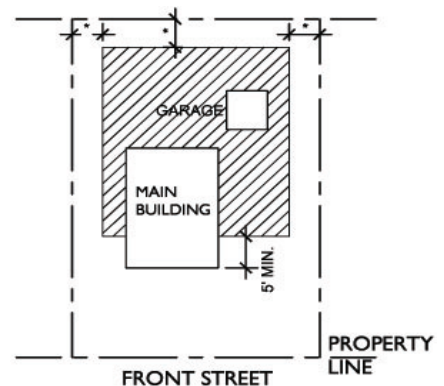


Diagram 5.2-7: Area of permitted addition structure location on interior lots

- e. Additions shall be designed to be appropriate to the style of the historic building.
- f. Additions shall be compatible in form, scale, materials, and workmanship, and shall not result in the diminution or loss of historic character of the historic building or the neighborhood.
- g. Additions shall be designed such that they are visually distinct from the historic building and in a manner that makes clear what is historic and what is new.
- h. Additions that accurately replicate or imitate the historic style of the historic building are not permitted.
- i. Where possible and where an addition is of sufficient size to warrant this approach, additions shall be separated from the historic building by a recessed, lowered roof or otherwise distinguished “link” or “hyphen” that creates a visual distinction between the form of the historic building and the addition. Where appropriate, this pause may be constructed primarily of glass. In this way, the form of the historic building may remain unaltered while the addition retains a form of its own.
- j. Additions shall be constructed in such a manner that, if removed in the future, the essential form and integrity of the historic building would be unimpaired.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Historically accurate replicas or imitations of buildings not originally on the property are not permitted; however, accurate reconstructions of buildings or portion of buildings that once existed on the property, where there is adequate documentation to support reconstruction, is permitted.
- b. New construction shall be compatible with the scale and form of the historic main buildings in the district.

B. PORCHES, STOOPS, BALCONIES, STOREFRONTS, AND PORTE-COCHERE

1. GENERAL

Historic porches, stoops, balconies, storefronts, and porte-cochere are features that provide interest and character to a building which helps to make new construction more compatible with the historic district. The district includes a wide variety of size and types of porches (first story only), balconies (second story only), and galleries (two stories) from attached, covered structures to inset types that are housed under the main roof of the building. Stoops are used to accentuate an entrance walk or the entrance to the building in a subtle way while porte-cochere provide a covered passage for automobiles while shielding the garage structure from the street.

2. GUIDELINES FOR ADDITIONS

- a. Additions to historic porches, balconies, stoops, and porte-cochere are not permitted.
- b. The addition of a porch, stoop, balcony, storefront, or porte-cochere on a main building that did not originally have this feature is not permitted.
- c. The reconstruction of a porch, stoop, balcony, storefront, or porte-cochere based on adequate documentation of the historic appearance is encouraged.

3. GUIDELINES

- a. Porches, stoops, balconies, storefronts, and porte-cochere are encouraged in new construction.
- b. Porte-cochere are not permitted to be located directly in front of the main building entrance.

C. DOORS

1. GENERAL

Entrance doors are often used to create interest and a focal point for a front façade, through the use of moldings, porches, stoops, decorative surrounds, and special door designs and color. Front doors often include screen doors as well.



These vernacular commercial buildings include porches and storefronts that are character defining features: additions to these porches and storefronts would be inappropriate. Clinton, 2011

2. GUIDELINES FOR ADDITIONS

- a. Doors on an addition shall be compatible in style, form, size, and material with the historic building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. One primary front door or pair of doors shall be provided. Additional entrances may be provided but their design shall be less prominent than that of the primary entrance.
- b. Doors shall be compatible in size and material with the historic buildings in the district.

D. WINDOWS

1. GENERAL

Windows are one of the most important character defining features of a building. Windows shall maintain consistency in style, dimension, and material with historic windows. Historically, windows included screens on the exterior, or interior for some types of windows. Some historic windows included leaded art glass or stained glass that provides additional interest. Historic windows are typically made of one sheet of glass per light, while today's more energy efficient windows typically employ two sheets of glass with a divider strip between them that creates an air space.



Historic windows on the Second Clinton High School. Windows on additions should compliment and be similar to the historic windows. Clinton, 2011.

2. GUIDELINES

- a. Windows on an addition shall be compatible in style, form, size, and material with the windows of the historic building.
- b. The proportion of windows and the ratio of window to wall shall be similar to that of the historic building.
- c. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that of a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- d. Window screens that match the historic window screens are encouraged.

- e. Window shutters, where appropriate to the style of the building are encouraged.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. The proportion of windows and the ratio of window to wall shall be similar to that of the historic buildings in the district.
- b. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that or a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- c. Window screens are encouraged.
- d. Window shutters, where appropriate to the style of the building are encouraged.

E. ROOFING

1. GENERAL

Roofs that are visible from the street are character defining features of a building and one of the most important components to maintain in good condition in order to preserve other historic features and materials. Roofs include drainage components such as gutters and downspouts, chimneys and flashing, and sometimes decorative features such as cresting, dormer windows, and special trim elements.

2. GUIDELINES FOR ADDITIONS

- a. Roofing on an addition shall match or be similar to the roofing on the historic building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Roofing shall be compatible in scale and material with the historic buildings in the neighborhood.

F. EXTERIOR LIGHTING

1. GENERAL

Historic lighting at primary entrances and porches is a character defining feature. Supplemental lighting may be required to meet current expectations for light levels and for security purposes.



This historic metal roof is a character defining feature of the building, and any additions should include the same roofing material. Clinton, 201.

2. GUIDELINES FOR ADDITIONS

- a. Exterior lighting on additions shall be compatible with the exterior lighting on the historic building.
- b. The addition of exterior lighting shall be compatible with the historic lighting.
- c. Extensive exterior lighting that increases the light level at the addition beyond the light level at the front door of the building is discouraged.
- d. Locating utilitarian security lighting out of view from the street is encouraged.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Lighting shall be compatible in scale and material with the exterior lighting on the historic buildings in the district.

G. MECHANICAL SYSTEMS

I. GENERAL

Mechanical equipment such as condensing units or large ventilation fans can be inappropriate additions to protected facades. In all cases, mechanical equipment should be concealed as much as possible so that it is not visible from the street.

2. GUIDELINES FOR ADDITIONS

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where it is not visible from a public street.
- c. Window heating and A/C units are discouraged, especially along protected facades. If the installation of a window unit is absolutely necessary, no unit shall be visible from the street.

3. GUIDELINES FOR NEW CONSTRUCTION

See guidelines for additions above.

H. ACCESSIBILITY

1. GENERAL

For guidelines regarding alterations to a historic building, including the construction of a new ramp, refer to Section 4. 1. For guidelines regarding an addition for a lift or elevator, refer to the standards below.

2. GUIDELINES FOR ADDITIONS

- a. A lift or elevator addition shall be located where it is not visible from a public street, where possible.
- b. A lift or elevator shall be compatible in style, scale, and material with the historic main building.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Elements associated with accessibility shall be compatible in scale and material with the historic buildings in the neighborhood.



This new ramp is appropriately sized and located, and includes some iron fencing elements. Clinton, 2011.

I. ENVIRONMENTAL

1. GENERAL

Reducing energy costs, designing sustainable buildings and protecting our environment are important goals that sometimes conflict with preservation of historic buildings. These guidelines intend to encourage energy efficient and sustainable design wherever there are no adverse effects on the historic building.

2. GUIDELINES FOR ADDITIONS

- a. Solar panels located on roofs facing front or side streets are not permitted. Solar panels located on flat or parapet roofs, or in areas that are not visible from the street are permitted.
- b. Storm windows and doors are permitted and maybe approved if they are easily removable and do not damage the historic windows and doors.
- c. Awnings, canopies, and other removable sun shading devices are permitted. These elements shall match the historic awnings, canopies, and sun shading devices where possible.
- d. Shutters that operate are permitted where appropriate to the style of the building as a

means of improving energy efficiency and protecting windows during storms.

- e. The replacement of windows solely for environmental or energy efficiency reasons is not permitted.
- f. Green roofs, defined as planted roof areas, are permitted where they are not visible from the street.
- g. Rainwater harvesting is permitted where it is not visible from the street.

3. GUIDELINES FOR NEW CONSTRUCTION

See guidelines for additions above.

J. ACCESSORY STRUCTURES

1. GENERAL

Accessory structures are generally smaller in size and simpler in detail than the main building, and are often garage buildings. Some properties in the district have more than one accessory building.

2. GUIDELINES FOR ADDITIONS

- a. Additions to accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. Additions to accessory buildings shall be lower in height than the main building.
- c. Additions to accessory buildings shall be compatible in style, form, and materials where they are visible from the street.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. New accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. New accessory buildings shall be compatible with other accessory buildings in the district in size, scale, and materials.

- c. The reconstruction of replacement accessory structures in the same location and in the same design as the original is encouraged, where adequate documentation is available.

5.2.3 MATERIALS

The predominant materials in the neighborhood are described in Section 4.2.3 and in Section 3 (Architectural Style Guide). It is the intent of these Standards to maintain consistency in the choice of and quality of materials for additions and new construction with the historic materials. Substitute materials in many respects can achieve the same effect as the historic material, sometimes with improved performance. In some instances, substitute materials do not provide equivalent quality and craftsmanship and thus are not compatible with historic materials; these materials are not permitted. In all cases, materials that are used in additions and new construction shall be compatible with the materials of the historic building, and should be appropriate to the style of the building.

A. WOOD

1. GENERAL

Wood is used for clapboard, weatherboard, wall shingles, doors, windows, and trim. In addition, door and window surrounds, transoms, exposed rafter ends, sun screening elements, porch elements, brackets, balustrades, and decorative elements are also typical character defining features built of wood.

2. GUIDELINES FOR ADDITIONS

- a. Wood elements used on additions shall match the wood elements on the historic building in appearance, dimension, form, and texture. The wood elements shall match the original material where possible.
- b. Exposed wood shall be painted, stained, or otherwise protected from deterioration, except for shingles and other elements that were historically unpainted.
- c. Plastic or vinyl materials are not considered appropriate alternatives to wood materials.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Wood materials that are used in new construction shall be compatible with the materials of the district's historic buildings.
- b. Materials that are appropriate to the style of the building shall be used.
- c. Plastic and vinyl fencing, plastic divider strips applied to the interior face of glass to simulate divided light windows, and vinyl and aluminum siding are not considered appropriate alternatives for wood materials.

B. MASONRY

1. GENERAL

Masonry includes brick, stone, cast stone, mortar, and concrete. These materials are typically used as either the primary façade material or as accent materials. Masonry is considered a character defining feature.

2. GUIDELINES FOR ADDITIONS

- a. Masonry elements on additions shall match the masonry elements on the historic building in material, size, form, texture, bonding pattern, joint size, shape, appearance, and mortar.
- b. Simulated stone is not an appropriate alternative to masonry.
- c. Veneer brick consisting of a thin cementitious material scored and colored to simulate brick is not an appropriate alternative to masonry.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Materials that are used in new construction shall be compatible with the materials of the district's historic buildings.
- b. Materials that are appropriate to the style of the building shall be used.
- c. Simulated stone and veneer brick consisting of a thin cementitious material scored and colored to simulate brick are not considered appropriate alternatives to masonry.



Masonry and stucco on the Second Clinton High School; an addition to the building should match the historic materials. Clinton, 2011.

C. STUCCO

1. GENERAL

The historic district includes several building styles that include stucco as an exterior finish material. Stucco textures range from a smooth to rough finish. The stucco comes in a variety of colors ranging from white, to tan, to red, and brown. Stucco is a character defining feature within the district.

2. GUIDELINES FOR ADDITIONS

- a. Stucco used on the addition to a historic building shall match the historic material in texture and color.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Stucco used in new construction shall be compatible with the stucco used on historic buildings in color and texture.



The stucco on this historic commercial building is a character defining feature, and any additions should incorporate the same or similar materials. Clinton, 2011.

D. METALS

1. GENERAL

The historic district includes a variety of metal features that range from metal roofing to cast iron and wrought iron architectural features. Metal roofing is addressed separately in the Design Guidelines, under the "Roofing" section in 5.2.E. Some of the cast iron and wrought iron features that are addressed here are structural, while other features are purely decorative. Metal is found in the historic district typically as porch or gallery elements, railings, fencing, decorative screens, brackets, grillwork, and vents. Metal materials may include cast iron, wrought iron, aluminum, zinc, tin, and steel. Both structural and decorative metal features on historic buildings are considered character defining features.

2. GUIDELINES FOR ADDITIONS

- a. Metal elements used in additions shall match the corresponding metal elements on the historic building element in all respects.
- b. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Metal elements used in new construction shall be compatible with the corresponding metal elements on the historic buildings.

- b. Metals subject to corrosion such as steel, wrought iron, and cast iron shall be painted.
- c. Highly reflective metal elements including sheet metal are discouraged.

E. PAINT AND COLOR

1. GENERAL

The paint record for historic properties and appropriate paint color selections for repainting campaigns are important to the record and character of a historic neighborhood. Today, most of the historic paint has been painted over and often in very different colors. Paint color, particularly for buildings made primarily of painted wood, is a character defining feature, and additions should always have compatible paint colors.

2. GUIDELINES FOR ADDITIONS

- a. Paint and color choices on the exterior of an addition are encouraged to be appropriate for the historic building. However, paint colors will not be reviewed by the Commission.

3. GUIDELINES FOR NEW CONSTRUCTION

- a. Paint and color choices on the exterior of new construction are encouraged to be appropriate for the historic district. However, paint colors will not be reviewed by the Commission.

6.0 GUIDELINES FOR NON-CONTRIBUTING PROPERTIES

6.0 APPLICABILITY

The Guidelines for Non-Contributing Properties apply to non-contributing properties within the historic district. Contributing and non-contributing properties are identified in Section 2.

It is recognized that the district includes historic buildings with alterations and additions that have diminished the historic integrity of the original building, as well as buildings built that are less than 50 years old; these properties have been defined as non-contributing to the historic character of the district. It is not the intent of these guidelines to preserve these non-contributing properties. However, when changes are proposed, it is the intent of these guidelines to guide these non-contributing properties toward a more appropriate design that is consistent with the character of the district.

Non-contributing properties may be demolished. The new construction that will take the place of the demolished building shall meet the site standards for additions and new construction and the standards for additions and new construction in this section.

Additions to non-protected facades shall be appropriate for the district.

New construction replacing non-contributing properties shall be appropriate for the neighborhood.

6.1 SITE

Site and context are critical to the character of a historic district. The relationship of buildings and structures to their respective sites and to the adjacent sites is an important character defining feature of the district. Avoid rearranging the site by moving or removing buildings and site features, such as walks, drives, fences, walls, and light posts which help define the historic value of the district.



A non-contributing building in the Clinton Historic District that uses elements of the Greek Revival style found throughout the district. Clinton, 2011.

A. SETBACK

1. GENERAL

There is no consistent dimension for front setbacks and the standard is based on that established by local and Parish zoning ordinances. Historically, minimum side and rear yard requirements were not in place, so accessory buildings, for example, are sometimes placed on or very near the side or back property line. These characteristics of the historic district are intended to be protected by the guidelines below. Where a property is non-contributing, and by definition does not have historic attributes protected by these guidelines, the minimum standard shall apply.

2. GUIDELINES

- a. Refer to local and Parish zoning ordinances.
- b. Reconstructed historic buildings or features of buildings, including accessory buildings, that are proposed to be reconstructed based on documentary evidence of their historic appearance and location, due to poor condition or damage, shall be permitted to be constructed in the same location as the historic building.

B. LOT SIZE

Refer to local and Parish zoning ordinances.

C. BUILDING HEIGHT

1. GENERAL

The building height is measured to the peak or ridge of the highest roof point.

2. GUIDELINES

- a. The maximum building height shall be limited to the maximum height of the existing historic main buildings along one street front. Non-historic construction and non-contributing properties shall not be used to determine the maximum building height. The existing height shall be measured to the peak or ridge of the highest roof on the main building.

D. MAXIMUM LOT COVERAGE

Refer to local zoning ordinances.

E. PARKING STRUCTURE LOCATION AND ORIENTATION

I. GENERAL

Garage, carports, and other parking structures and parking areas are often necessary within a historic district. However, they must be introduced carefully so as to not negatively affect the character of the district.

2. GUIDELINES

- a. Garages are permitted within the hatched area indicated on Diagram 6.0-1 for corner lots and Diagram 6.0-2 for interior lots.
- b. Garages shall be separated from the main building and under an independent roof.
- c. Garages shall be set back from the front of the main building by a minimum of twenty feet.
- d. Carports are permitted when the carport is not visible from the street.
- e. A covered but open air walkway is permitted to connect a detached garage to the main building if it is open on all sides, except for the roof.



Diagram 6.0-1: Area of permitted parking structure locations for corner lots

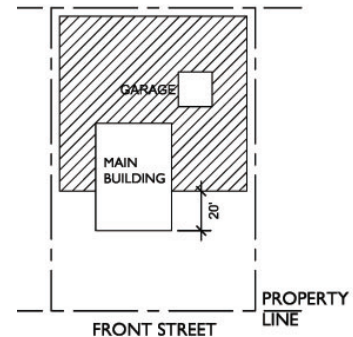


Diagram 6.0-2: Area of permitted parking structure locations for interior lots

F. WALKWAYS

I. GENERAL

Commercial properties have varying setbacks from the street, and therefore a variety of walkway conditions. Walkways in the district are typically concrete or sometimes brick.

2. GUIDELINES

- a. It is encouraged that historic walkways be repaired rather than replaced.
- b. If replacement is necessary due to severe deterioration or damage, the replacement shall be similar to and compatible with the historic walkway.

G. DRIVEWAYS

I. GENERAL

Simple concrete and gravel driveways lead to concrete and gravel parking areas. Driveways and parking areas are usually located directly in front of

or next to each commercial property, and each parking area typically serves one to two businesses. Street parking is also available, and the typical parking areas in front of the historic commercial properties are generally smaller. Driveways on adjoining commercial properties are typically not located side-by-side, and instead have green spaces or landscaping between them.

2. GUIDELINES

- a. It is encouraged that historic driveways be repaired rather than replaced.
- b. If replacement is necessary due to severe deterioration or damage, the replacement shall be similar to and compatible with the historic driveway.
- b. Green spaces and landscaping between driveways and parking areas are protected, and should not be paved or covered to serve as an additional driveway or parking area.

H. LANDSCAPE

1. GENERAL

Landscaping varies, but the predominant features include native landscaping such as oak trees, pine trees, azalea bushes, and large grassy areas. Grassy areas also line the streets and are used between parking areas.

2. GUIDELINES

- a. Landscaping that is native to south Louisiana, including but not limited to healthy trees, shall be maintained as character defining features.
- b. Grass and vegetation shall be mowed, trimmed, and generally maintained.

I. FENCING, WALLS, AND OTHER SITE CHARACTERISTICS

1. GENERAL

Historically, some properties included some form of simple fencing along property lines that helped provide separation between neighboring properties. Historic fencing typically included cast or wrought iron fences, wooden picket fences, and in some cases, small masonry site walls. Fences that lined a front property line also included a small gate. Today,

the district includes some cast and wrought iron fence elements, along with some picket fencing. Some chain link fencing is also found in the district, although this is considered inappropriate. Fencing in the historic district is considered a character defining feature.

2. GUIDELINES

- a.** Fencing shall not encroach on the front yard or cornerside yard.
- b.** Permitted fencing materials include wood, metal, stone, cast iron, or wrought iron.
- c.** Permitted site wall materials include concrete, stone, or brick.
- d.** Site walls shall be limited in height to that required for retaining earth.
- e.** Plastic, vinyl and sheet metal fencing is not permitted. Chain link is discouraged.
- f.** For height limitations, refer to local zoning ordinances.
- g.** Fencing style shall be appropriate to the style of the main building.
- h.** Signage shall be appropriate for the district in appearance, size, position, method of attachment, texture of materials, and design. Signage shall enhance the quaint and distinctive character of the Clinton Historic District. Signage shall not negatively impact a historic building or the district in any way. No sign shall be displayed or placed in any manner that disfigures or conceals any significant architectural feature or detail of any building. Illuminated, flashing, and changeable-letter signs are not permitted. The surface area of any sign shall be in direct proportion to the amount of front footage of the property. Secondary signs and temporary signs may be permitted upon review. Refer to local zoning ordinances for further information on signage.

6.2 FEATURES

For non-contributing properties that were constructed fifty years ago or more, it is recommended that earlier features and construction be uncovered and exposed to view to determine if the property could be contributing. The removal of later construction would allow for an evaluation of the historic significance and potentially identification of a style. When additions to an existing, non-contributing building with the historic district are made, the following guidelines apply.

A. FORM AND STYLE

1. GENERAL

Refer to Section 3 (Architectural Style Guide), other style guides and other property in the neighborhood for appropriate design precedents.

2. GUIDELINES

- a. Additions located at the rear of the property, where they are not visible from the street, are encouraged.
- b. Horizontal additions shall be set back a minimum of five feet from the adjacent front façade and within the area or permitted addition locations indicated in Diagram 6.0-3 for corner lots and 6.0-4 for interior lots.
- c. Vertical additions are limited by the height of the existing building within sight lines visible from the street. Refer to Diagram 4.0-3 to define sight lines for visibility.
- d. Additions shall be designed to be appropriate to the style of the building.
- e. Additions shall be compatible in form, scale, materials, and workmanship, and shall not result in the diminution or loss of historic character of the neighborhood.
- f. Additions shall be designed such that they are visually distinct from the historic buildings in the neighborhood and in a manner that makes clear what is historic and what is new.
- g. Additions that accurately replicate or imitate the historic style of historic buildings in the district are not permitted.

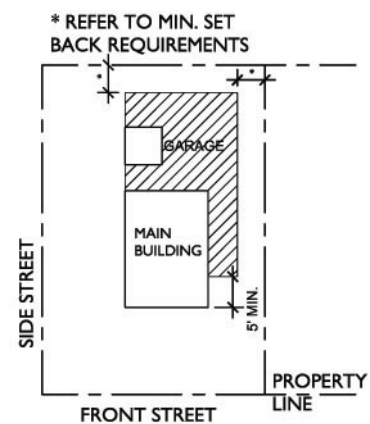


Diagram 6.0-3: Area of permitted addition location on corner lot

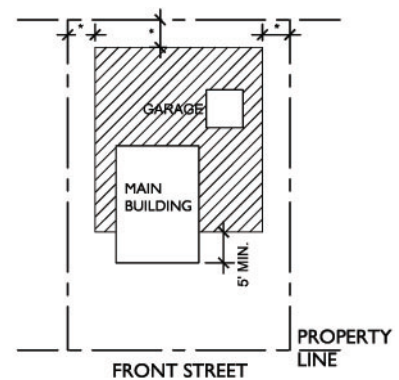


Diagram 6.0-4: Area of permitted addition on interior lot

B. PORCHES, STOOPS, BALCONIES, AND PORTE-COCHERE

1. GENERAL

Historic porches, stoops, balconies, and porte-cochere are features that provide interest and character to a building which helps to make new construction more compatible with the historic character of the district. Storefronts are appropriate in the commercial area of the district. The district includes a wide variety of size and types of porches (first story only), balconies (second story only), and galleries (two stories or more) from attached and covered to inset types that are housed under the main roof of the building. A stoop is used to accentuate an entrance walk or the entrance to the building in a subtle way while a porte-cochere provides a covered passage for automobiles while shielding the garage structure from the street.

2. GUIDELINES

- a. Additions to porches, stoops, balconies, storefronts, and porte-cochere are permitted with city approval.
- b. The addition of a porch, stoop, balcony, storefront, or porte-cochere on a main building that did not originally have this feature is permitted with city approval.

C. DOORS

1. GENERAL

Entrance doors are often used to create interest and a focal point for a front façade, through the use of moldings, porches, stoops, decorative surrounds, and special door designs and color. Front doors often include screen doors also.

2. GUIDELINES

- a. Doors shall be compatible in style, form, size, and material with the main building, and fit appropriately within the historic district.

D. WINDOWS

1. GENERAL

Windows are one of the most important character defining features of a building. Historically, windows included screens on the exterior, or interior for some types of windows. Historic windows are

typically made of one sheet of glass per light, while today's more energy efficient windows typically employ two sheets of glass with a divider strip between them that creates an air space.

2. GUIDELINES

- a. Windows shall be compatible in style, form, size, and material with the historic windows in the district.
- b. The proportion of windows and the ratio of window to wall shall be similar to that of the historic buildings in the neighborhood.
- c. Windows with multiple panes shall use true divided lights or simulated divided lights that include a muntin with a dimension similar to that of a true divided light on the interior and the exterior of the glass. Muntins that are flat and applied on the interior of the window are not permitted to simulate divided lights.
- d. Window shutters, where appropriate to the style of the building are encouraged.

E. ROOFING

1. GENERAL

Roofs that are visible from the street are character defining features of a building and one of the most important components to maintain in good condition in order to preserve other features and materials. Roofs include drainage components such as gutters and downspouts, chimneys and flashing, and sometimes decorative features such as cresting, dormer windows, and special trim elements.

2. GUIDELINES

- a. Roofing shall match or be similar to the historic roofing in the district.

F. EXTERIOR LIGHTING

1. GENERAL

Lighting at primary entrances and porches is encouraged. Supplemental lighting may be required to meet current expectations for light levels and for security purposes.

2. GUIDELINES

- a. Exterior lighting shall be compatible with historic exterior lighting of the district.
- c. Extensive exterior lighting that increases the light level at the addition beyond the light level at the front door of the building is discouraged.
- d. Locating utilitarian security lighting out of view from the street is encouraged.

G. MECHANICAL SYSTEMS

1. GENERAL

Mechanical equipment such as condensing units or large ventilation fans can be inappropriate additions to front facades.

2. GUIDELINES

- a. Mechanical equipment shall be located where it is not visible from a public street or where it can be shielded from view by landscaping.
- b. Large mechanical vents shall be located where it is not visible from a public street.
- c. Window heating and air-conditioning units are discouraged. However, if window units are necessary, they shall not be visible from the street.

H. ACCESSIBILITY

1. GENERAL

Accessibility is an important building feature, although it should not take away from the character of the main building or the district. The following guidelines seek to minimize the impact of accessibility structures and additions to non-contributing buildings within the district.

2. GUIDELINES

- a. A lift or elevator addition shall be located where it is not visible from a public street, where possible.
- b. A lift or elevator shall be compatible in style, scale, and material with the main building.

I. ENVIRONMENTAL

1. GENERAL

Reducing energy costs, designing sustainable buildings, and protecting our environment are important goals that sometimes conflict with preservation of historic buildings. These guidelines intend to encourage energy efficient and sustainable design wherever there are no adverse effects on the historic character of the district.

2. GUIDELINES

- a. Green roofs, defined as planted roof areas, are permitted where they are not visible from the street.
- b. Rainwater harvesting is permitted where it is not visible from the street.

J. ACCESSORY BUILDINGS

1. GENERAL

Accessory buildings are generally smaller in size and simpler in detail than the main building, and are often garage buildings. Some properties in the district have more than one accessory building.

2. GUIDELINES

- a. Accessory buildings shall follow the historic setback patterns of other accessory buildings on the property where they are visible from the street.
- b. Accessory buildings shall be lower in height than the main building.
- c. Accessory buildings shall be compatible in style, form, and materials where they are visible from the street.

6.3 MATERIALS

A. GENERAL

The predominant materials in the district are described in Section 4.3 and in Section 3 (Architectural Style Guide). It is the intent of these guidelines to maintain consistency in the choice of and quality of materials between the non-contributing buildings and the historic buildings in the district. Substitute materials in many respects can achieve the same effect as the historic material, sometimes with improved performance;

however, in some instances, substitute materials do not provide equivalent quality and craftsmanship and thus are not compatible with historic materials; these materials are not permitted.

B. GUIDELINES

1. Materials shall be compatible with the materials of the historic buildings of the district.
2. Materials shall be appropriate to the style of the building.
3. The following substitute materials are not permitted:
 - a. Simulated stone.
 - b. Vinyl and aluminum siding.
 - c. Veneer brick consisting of a thin cementitious material scored and colored to simulate brick.
 - d. Plastic and vinyl fencing.
 - e. Plastic divider strips applied to the interior face of glass to simulate divided light windows.
 - f. Reflective metal materials such as polished sheet metal.
 - g. Reflective and heavily tinted glass.

7.0 DEFINITIONS

1. **ACCESSORY BUILDING** means a structure, such as a detached garage, shed, gazebo, or other building that supports the function of the principal building on the site and that is subordinate to this principal building.
2. **ADDITION** means construction that increases the size of the original structure by building outside of the existing walls and/or roof. Additions can be either horizontal or vertical.
3. **ALTERATION** means an act that changes one or more of the exterior architectural features of a structure or its appurtenances, including but not limited to the erection, construction, reconstruction, or removal of any structure or appurtenance.
4. **APPROPRIATE** means typical of the historic architectural style, compatible with the character of this property or district, and consistent with these preservation criteria.
5. **ARCHITECTURAL STYLE** means a category of architecture of similar buildings distinguished by similar characteristics of construction, design, materials, etc.
6. **AWNING** means a roof-like cover extending over a window or door, intended to provide the pedestrian protection against sun, rain, and wind. Awnings are usually made of soft canvas or other fabric and may be fixed or adjustable.
7. **BALCONY** means a second story projection from a building's facade into the exterior space, either with or without a roof. A balcony can be supported by columns below (in which case it becomes a GALLERY), it can be canti-levered, or supported from below by brackets.
8. **BOARD AND BATTEN** means a type of wood wall cladding for wood frame houses where boards are closely spaced, usually placed vertically, the joints of which are covered by narrow wood strips.
9. **CANOPY** means a projecting roof structure that shelters an entrance to a building.
10. **CHARACTER DEFINING FEATURE** means those important architectural materials or features that constitute the building's historic significance as determined by the local Historic Preservation Officer or the local Landmark Commission. Character defining features may include a historic building's form, materials, features, craftsmanship, decorative details, as well as its site environment.
11. **COLUMN** means the entire column, including the base, shaft and capital.
12. **COMPATIBLE** means a design or use that maintains the historical appearance of a building and does not require irreversible alteration.
13. **CONSTRUCTION** means the act or business of building a structure or part of a structure.

- 14. CONTRIBUTING PROPERTY (BUILDING/STRUCTURE/SITE)** means a building, structure, or site which reinforces the visual integrity or interpretability of a historic district. A contributing property is not necessarily “historic” (50 years or older). A contributing property may lack individual distinction, but may add to the historic district’s status as a significant and distinguishable socio-cultural entity.
- 15. DEMOLITION** means an act or process that destroys or razes a structure or its appurtenances in part or in whole, or permanently impairs its structural integrity, including its ruin by neglect of necessary maintenance and repairs.
- 16. DISTRICT** means a historic district within the City of Clinton, specifically the Clinton Historic District.
- 17. DOUBLE-HUNG SASH WINDOW** means a window with two parts (sashes) that overlap slightly and slide up and down within a frame.
- 18. ENTRY** means a door, gate, or passage used to enter a building.
- 19. ERECT** means to attach, build, draw, fasten, fix, hang, maintain, paint, place, suspend, or otherwise construct.
- 20. FAÇADE** means any exterior face or elevation of a building.
- 21. FENCE** means a structure or hedgerow that provides a physical barrier, including a fence gate.
- 22. FENESTRATION** means the proportion and size of window and door openings and the rhythm and order in which they are arranged.
- 23. FORM** means the size, shape, and massing of a building.
- 24. GALLERY** means a two or three-level extension from a building’s façade into the exterior space. A gallery forms a covered porch or storefront space on the first floor, and a balcony space above on the second or third floors. A gallery includes columns.
- 25. HEIGHT** means the vertical distance from the average grade level to the average level of the roof.
- 26. HISTORIC DISTRICT** means a definable geographic area that contains a number of related historic structures, features, or objects united by past events or aesthetically by plan or physical development and that has been designated by a local or state governing body, or is listed on the National Register of Historic Places.
- 27. HISTORIC** means a property, building, element or material that dates either to the original construction date or to some later but important alternation date that is consistent with the historic designation significance for the historic district.
- 28. INFILL CONSTRUCTION** means construction on property between or adjacent to existing buildings.

- 29. INTEGRITY** means a measure of the authenticity of a property's historic identity, evidenced by the survival of physical characteristics that existed during the property's historic period in comparison with its unaltered state.
- 30. INTERIOR SIDE FAÇADE** means a façade not facing a street or alley.
- 31. INTERIOR SIDE FENCE** means a fence not adjacent to a street or alley.
- 32. INTERIOR SIDE YARD** means a side yard not abutting a street or alley.
- 33. LANDSCAPE** means the whole of the exterior environment of a site, district, or region, including landforms, trees, and plants.
- 34. LOT** means a surveyed parcel of land that fronts on a public street, especially of a size to accommodate an individual building.
- 35. MAIN BUILDING** means the primary residential building on the site.
- 36. MODIFY or MODIFICATION** means to make changes to an existing structure.
- 37. MULLION** means a wide upright bar dividing two window units within a frame.
- 38. MUNTIN** means a strip of wood or other material that separates lights or panes of glass within a window sash.
- 39. NEW CONSTRUCTION** means the act of adding to an existing structure or erecting a new principal or accessory structure or appurtenances to a structure, including, but not limited to, buildings, extensions, outbuildings, fire escapes, and retaining walls.
- 40. NON-CONTRIBUTING PROPERTY (BUILDING/STRUCTURE/SITE)** means a building, structure, or site which detracts from the visual integrity or interpretability of a historic district.
- 41. ORDINARY MAINTENANCE AND REPAIR** means work meant to remedy damage to deterioration of a structure or its appurtenances, which will involve no change in materials, dimensions, design, configuration, color, texture, or visual appearance.
- 42. PORCH** means a covered and floored area of a building, especially a house that is open at the front and usually the sides.
- 43. PORTE COCHERE** means a roofed structure covering a driveway at the entrance or side of a building to provide shelter to those entering or leaving a vehicle.
- 44. PRESERVATION** means the act or process of applying measures necessary to sustain the existing form, integrity, and materials of a historic property.

- 45. PROPORTION** means the dimensional relationship between one part of a structure or appurtenance and another. Façade proportions involve relationships such as height to width, the percent of the façade given to window and door openings, the size of these openings, and floor-to-ceiling heights. Often described as a ratio, proportions may be vertical (taller than wide), horizontal (wider than tall), or non-directional (equally tall and wide).
- 46. PROTECTED** means an architectural or landscaping feature that must be retained and maintain its historic appearance, as near as practical, in all aspects.
- 47. REHABILITATION** means the act or process of making possible a compatible use for a historic property thru repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.
- 48. REPAIR** means fixing a deteriorated part of a building, structure, or object, including mechanical or electrical systems or equipment, so that it is functional; may involve replacement of minor parts.
- 49. REPLACEMENT** means to interchange a deteriorated element of a building, structure, or object with a new one that matches the original element as closely as possible.
- 50. REPLICATION** means to accurately reconstruct an element of a building, structure or object using the original element as a model or mold.
- 51. REPOINTING** means repairing existing masonry joints by removing defective mortar and installing new mortar.
- 52. RESTORATION** means the act or process of accurately depicting the form, features, and character of a property as it appeared at a particular period of time.
- 53. RIGHT-OF-WAY** (also known as the Public Street) means the land used for a transportation corridor such as a street, alley, or railroad; typically owned by the government.
- 54. SCALE** means the relative proportion of a building to neighboring buildings, or of a building to a pedestrian observer.
- 55. SETBACK** means the horizontal distance between a structure's vertical planes and a reference line, usually the property line.
- 56. SITE** means the land on which a building or other feature is located.
- 57. SOLID-TO-VOID RATIO** means the proportion of window and door openings to wall surface area in the exterior wall of a building.
- 58. STOOP** means a small porch, platform, or staircase leading to the entrance of a house.

59. STRUCTURE means anything constructed or erected, on the ground or attachment to something having a location on the ground, including but not limited to buildings, gazebos, billboards, outbuildings, and swimming pools.

60. VISIBILITY FROM A PUBLIC WAY OR PUBLIC STREET means able to be seen from any public right-of-way, or other place, whether privately or publicly owned, upon which the public is regularly allowed or invited to be.

8.0 APPENDIX

8.1 SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION

The ten standards below comprise the Secretary of the Interior's Standards for Rehabilitation, developed to guide work undertaken on historic buildings; the intent is to assist with the long-term preservation of a property's significance through the preservation, restoration, rehabilitation or reconstruction of historic materials and features. These standards are incorporated in the City of College Station's enabling ordinance for the Historic Preservation Program as the standards that govern historic districts and properties. These standards are subject to changes by the U.S. Department of the Interior and are reproduced here for convenience.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize the property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

8.2 REFERENCES & RESOURCES

Clinton's Lawyer's Row is listed on the National Historic Landmarks List, and has been surveyed by the Historic American Buildings Survey. Lawyer's Row and the Courthouse are also listed as a district on the National Register of Historic Places. References for each are provided below.

Americans with Disabilities Act Information. Accessed from: <http://www.ada.gov/>.

Association of Preservation Technology International. Accessed from: <http://www.apti.org/>.

Blumenson, John J.G. *Identifying American Architecture: A Pictorial Guide to Styles and Terms, 1600-1945*, 2nd ed. Nashville: American Association for State and Local History, 1977.

Bucher, Ward, ed. *Dictionary of Building Preservation*. New York: John Wiley & Sons, Inc., 1996.

Harris, Cyril M. *Illustrated Dictionary of Historic Architecture*. New York: Dover Publications, Inc., 1977.

Heritage Preservation Services. Accessed from: <http://www.heritagepreservation.org/>.

Higgins, Alan. *Architectural Styles and Building Forms of the Recent Past*. Indianapolis: Historic Landmarks Foundation of Indiana, 2007.

Historic American Building's Survey / Historic American Engineering Record. Accessed from: <http://www.nps.gov/history/hdp/>.

Louisiana Office of Cultural Development: Division of Historic Preservation. Accessed from <http://www.crt.state.la.us/hp/>

McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1984.

National Center for Preservation Technology and Training. Accessed from: <http://www.ncptt.nps.gov/>.

National Historic Landmarks List. Accessed from: <http://www.nps.gov/nhl/designations/listsofnhls.htm>.

National Register of Historic Places. Accessed from: <http://www.nps.gov/history/nr/>.

National Trust for Historic Preservation. Accessed from: <http://www.preservationnation.org/>.

"Preservation Briefs." Technical Preservation Services Division, National Park Service, U.S. Department of the Interior. Accessed from:

<http://www.nps.gov/history/hps/tps/briefs/presbhom.htm>.

Poppeliers, John C., and S. Allen Chambers Jr. *What Style Is It?: A Guide to American Architecture*, revised ed. Hoboken: John Wiley & Sons, Inc., 2003.

Secretary of the Interior's Standards for the Treatment of Historic Properties. Accessed from: <http://www.nps.gov/history/hps/tps/standguide/>.

Technical Preservation Services (NPS). Accessed from: <http://www.nps.gov/history/hps/TPS/>.

Weeks, Kay D. *The Secretary Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings*, United States Department of the Interior, National Park Service, Washington, DC 1995.